



**GOBIERNO DE PUERTO RICO**  
DEPARTAMENTO DE RECREACIÓN Y DEPORTES

2 de abril de 2024

Sr. Yamil Rivera Vélez  
Secretario del Senado  
Senado de Puerto Rico  
El Capitolio

*A-2024-8833*  
SENADO DE PUERTO RICO *ser*  
OFICINA DEL SECRETARIO  
5 ABR 2024 AM 11:26

Estimado señor Rivera:

**INFORME SENATORIAL MUNICIPIO DE VEGA BAJA**

Agradecemos sinceramente su interés en los proyectos de reconstrucción de facilidades deportivas en el municipio de Vega Baja según percibida de su petición de información identificada como 2024-0034. Es un placer para nosotros proporcionarle los detalles solicitados en relación con el estado de cada proyecto. En el periodo 2017-2018, luego del impacto del Huracán María, FEMA inicialmente delimitó su ámbito de trabajo para abordar específicamente los daños derivados del desastre. Sin embargo, se observó que numerosas instalaciones deportivas y recreativas presentaban daños que no estaban directamente vinculados al desastre natural, sino más bien contenían daños preexistentes que en numerosas instancias la ejecución de las mejoras circunscritas a los daños registrados originalmente por FEMA causaban que las instalaciones permanecieran sin funcionalidad o con condiciones peligrosas.

Ante esta realidad, el Departamento de Recreación y Deportes (DRD) asumió la responsabilidad de evaluar exhaustivamente los trabajos requeridos para rehabilitar estas instalaciones a un estándar de calidad óptimo. Con este fin, se elaboró y presentó a FEMA un proyecto mejorado, que implica mejoras adicionales a las registradas originalmente por FEMA garantizando así la restauración integral y la mejora sustancial de las instalaciones recreativas y deportivas afectadas. El DRD se encuentra en el proceso de ejecución de una primera fase de reconstrucción de sus instalaciones deportivas, de manera equitativa, con todos los municipios. Para ello, el DRD ha entablado conversaciones con alcaldes y/o funcionarios municipales para conocer las prioridades de los municipios e incluir esas instalaciones prioritarias en la primera fase.

Ahora bien, existen múltiples factores ajenos que afectan directamente el presupuesto asignado, tales como: la inflación, el alza en costo de materiales, el comportamiento del mercado de la construcción, entre otros. Así, importante resaltar que el DRD se encuentra actualmente en el proceso de identificar fuentes de

**Oficina del Secretario**

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**DRD**

financiamiento adicionales para complementar los recursos destinados por FEMA y así completar la rehabilitación de todas las instalaciones deportivas y recreativas afectadas por el huracán María. Este compromiso refleja la determinación del Departamento para asegurar que estas instalaciones sean restauradas de manera integral, en aras de proporcionar espacios seguros y de calidad para el disfrute de las comunidades afectadas por el desastre natural y contribuir a la revitalización y resiliencia de estas.

A continuación, encontrará una tabla detallada que resume el estado actual de cada uno de los proyectos de las instalaciones deportivas en Vega Baja:

| <b>Instalación</b>                                | <b>Estatus</b>    | <b>Comentario</b>  |
|---|-------------------|--|
| El Verde Bo. Pugnado Afuera                       | En Subasta        | En re-subasta. Ofertas fuera de presupuesto  |
| Jardines de Vega Baja Bo. Algarroba (Ojo de Agua) | En Subasta        | En espera de resolución favorable de la Junta de Planificación para su adjudicación.   |
| Urb. El Rosario                                   | En Subasta        | Apertura 4/4/2024  |
| Urb. Alturas de Vega Baja                         | Diseño completado | Daño oculto: presencia de asbestos y plomo en la facilidad. Se llevará a cabo la subasta de la mitigación de asbestos y plomo en abril 2024. |
| Urb. Brasilia Bo. Caribe                          | Diseño completado | Se trabajará en una segunda fase.  |
| Villa Real  | Diseño completado | Se trabajará en una segunda fase.  |
| Urb. Villa Pinares                                | Diseño Completado | Se trabajará en una segunda fase.  |
| El Guarico  | Diseño completado | Se trabajará en una segunda fase.  |
| Urb. San Vicente                                  | Fase 2            | Se trabajará en una segunda fase.  |
| Barrio Sabana                                     | Fase 2            | Se trabajará en una segunda fase.  |
| Urb. Colinas del Marques                          | Fase 2            | Se trabajará en una segunda fase.  |
| Urb. Las Flores                                   | Fase 2            | Se trabajará en una segunda fase.  |
| Urb. Montecarlo                                   | Fase 2            | Se trabajará en una segunda fase.  |



Los detalles del ámbito de trabajo mejorado de aquellos proyectos que están en ejecución se encuentran en el Anejo 1. El ámbito de trabajo de las instalaciones que se trabajarán en la Fase 2 se encuentra en el Anejo 2.

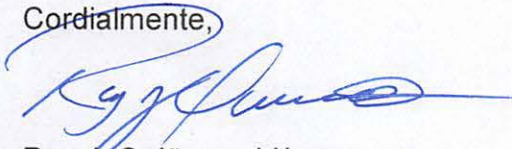
Por otra parte, las siguientes instalaciones no fueron reclamadas por el DRD en el año 2017-2018. No obstante, se están realizando los esfuerzos necesarios para identificar fondos alternos para atender los daños en estas facilidades.

- Jardines de Vega Baja
- Villa Los Pescadores

Con relación a la instalación de Los Naranjos, no contamos con documentación que demuestre la titularidad por parte del DRD.

Apreciamos su comprensión y agradecemos anticipadamente la colaboración del municipio de Vega Baja, así como de los representantes y senadores en este proceso para atender las necesidades de las comunidades que se beneficiarían de contar con unas instalaciones deportivas y recreativas en óptimas condiciones. Reiteramos nuestro compromiso con el desarrollo y mejoramiento de las facilidades deportivas en Vega Baja.

Cordialmente,



Ray J. Quiñones Vázquez  
Secretario

**Anejos**



Facilidades Deportivas y Recreativas del

# MUNICIPIO DE **VEGA BAJA**

Respuesta a Petición de Información **2024-0034**

ABRIL 2 2024



Hon. Ray J. Quiñones



# ANEJO 1:

Ámbito de Trabajo de Proyectos en Ejecución

Standard Estimate Report  
00025**NORTE**  
**VEGA BAJA**  
**URB SAN VICENTE - BO CABO CARIBE**

|                      |   |
|----------------------|---|
| Project name         | 00025   |
| Estimator            | KDowns  |
| Labor rate table     | LAB-2017-Burd/WC                                  |
| Equipment rate table | EQP-2017  |
| Location No          | NA  |
| Revision No          | 00  |
| Park Alpha Code      | SAJU  |
| Work Order Type      | Unknown   |
| Database             | CESSDATA17  |
| Pricing Date         | 1/1/2017  |
| Site Number          | P300  |
| Status               | CREATED   |
| Report format        | Sorted by 'Group phase/Phase'<br>'Detail' summary |
| Cost index           | SAJU  |



| Item             | Description   | Takeoff Qty | Labor<br>Amount | Material<br>Amount | Equipment<br>Amount | Total<br>Amount |
|------------------|---|-------------|-----------------|--------------------|---------------------|-----------------|
| <b>0110.0000</b> | <b>SUMMARY</b>  |             |                 |                    |                     |                 |
| n 0110.0001      | Summary   |             |                 |                    |                     |                 |
| 0000             | NPS CESS Data Update 2017; Prices as of<br>1/1/2017; Revision 1 Release 0 |             | -               | -                  | -                   | -               |
|                  | <b>SUMMARY</b>  |             | <b>0</b>        | <b>0</b>           | <b>0</b>            | <b>0</b>        |
| <b>0193.0000</b> | <b>FACILITY MAINTENANCE</b>   |             |                 |                    |                     |                 |
| n 0193.0260      | Maintenance & Repair Mechanical   |             |                 |                    |                     |                 |
| n 0624           | Clean up  | 10.00 sq    | 247             | -                  | -                   | 247             |
| n 0626           | Clean up  | 130.00 sf   | 33              | -                  | -                   | 33              |
| n 0662           | Dismantle seam  | 130.00 sf   | 131             | -                  | -                   | 131             |
| n 4580           | Remove damaged flashing metal   | 130.00 sf   | 156             | -                  | -                   | 156             |
| n 4580           | Remove damaged flashing metal   | 20.00 sf    | 24              | -                  | -                   | 24              |
| n 4710           | Remove existing panel roofing   | 1,000.00 sf | 2,275           | -                  | -                   | 2,275           |
| n 7800           | Set up, secure and take down ladder                                       | 130.00 sf   | 82              | -                  | -                   | 82              |
| n 7804           | Set up, secure and take down ladder                                       | 10.00 sq    | 13              | -                  | -                   | 13              |
|                  | Maintenance & Repair Mechanical   |             | 2,961           |                    |                     | 2,961           |
|                  | 46.852 Labor hours  |             |                 |                    |                     |                 |
|                  | <b>FACILITY MAINTENANCE</b>   |             | <b>2,961</b>    | <b>0</b>           | <b>0</b>            | <b>2,961</b>    |
|                  | 46.852 Labor hours  |             |                 |                    |                     |                 |
| <b>0741.0000</b> | <b>ROOF PANELS</b>  |             |                 |                    |                     |                 |
| n 0741.1320      | Steel Roofing Panels  |             |                 |                    |                     |                 |
| n 0403           | Install new metal panel   | 1,000.00 sf | 2,705           | 2,851              | -                   | 5,556           |
|                  | Steel Roofing Panels  |             | 2,705           | 2,851              |                     | 5,556           |
|                  | 43.84 Labor hours   |             |                 |                    |                     |                 |
|                  | <b>ROOF PANELS</b>  |             | <b>2,705</b>    | <b>2,851</b>       | <b>0</b>            | <b>5,556</b>    |
|                  | 43.84 Labor hours   |             |                 |                    |                     |                 |

# Standard Estimate Report

00025

| Item      | Description                                  | Takeoff Qty | Labor<br>Amount | Material<br>Amount | Equipment<br>Amount | Total<br>Amount |
|-----------|--|-------------|-----------------|--------------------|---------------------|-----------------|
| <hr/>     |  |             |                 |                    |                     |                 |
| 0765.0000 | FLEXIBLE FLASHING                            |             |                 |                    |                     |                 |
| <hr/>     |  |             |                 |                    |                     |                 |
| 0765.1010 | Sheet Metal Flashing And Counter Flashing    |             |                 |                    |                     |                 |
| n 0103    | Flashing, aluminum, mill finish, .032" thick | 130.00 sf   | 592             | 176                | -                   | 768             |
| n 0103    | Flashing, aluminum, mill finish, .032" thick | 10.00 sf    | 46              | 14                 | -                   | 59              |
|           | Sheet Metal Flashing And Counter Flashing    |             | 638             | 190                |                     | 828             |
|           | 10.09 Labor hours                            |             |                 |                    |                     |                 |
| <hr/>     |  |             |                 |                    |                     |                 |
|           | FLEXIBLE FLASHING                            |             | 638             | 190                | 0                   | 828             |
|           | 10.09 Labor hours                            |             |                 |                    |                     |                 |



# Standard Estimate Report

00025

## Estimate Totals

| Description                    | Amount       | Totals        | Hours       | Rate     | Cost Basis | Cost per Unit | Percent of Total |
|--------------------------------|--------------|---------------|-------------|----------|------------|---------------|------------------|
| Labor                          | 6,304        |               | 100,782 hrs |          |            |               | 27.50%           |
| Material                       | 3,041        |               |             |          |            |               | 13.27%           |
| Subcontract                    |              |               |             |          |            |               |                  |
| Equipment                      |              |               |             |          |            |               |                  |
| Other                          |              |               |             |          |            |               |                  |
|                                | <u>9,345</u> | <u>9,345</u>  |             |          |            |               | <u>40.77</u>     |
| Remoteness Factor (0-20%)      | 1,869        |               |             | 20.000 % | T          |               | 8.15%            |
| Historic Preservation Factor   |              |               |             |          | T          |               |                  |
| Design Contingency (Std 20%)   | <u>2,243</u> |               |             | 20.000 % | T          |               | <u>9.78%</u>     |
| Subtotal Allocated Costs       | <u>4,112</u> | <u>13,457</u> |             |          |            |               | <u>17.94</u>     |
| 8a                             | 2,018        |               |             | 15.000 % | T          |               | 8.81%            |
| Hurricane                      |              |               |             |          | T          |               |                  |
| General & Administrative (15%) | 2,321        |               |             | 15.000 % | T          |               | 10.13%           |
| Overhead (Standard 15%)        | 2,669        |               |             | 15.000 % | T          |               | 11.65%           |
| Profit (Standard 12%)          | <u>2,458</u> |               |             | 12.000 % | T          |               | <u>10.71%</u>    |
| Subtotal Services Costs        | <u>9,464</u> | <u>22,921</u> |             |          |            |               | <u>41.29</u>     |
| <b>Total</b>                   |              | <b>22,921</b> |             |          |            |               |                  |



## FIELD ASSESSOR INFORMATION

|   |                                 |
|---|---------------------------------|
| Field Assessor Name(s) (check all that apply) | David Miller<br>Darion Grainger |
| Inspection Date                               | 05/03/2018                      |
| Inspection Time                               | 14:16                           |
| Drone used to capture photos?                 | No                              |

## SITE INFORMATION

|               |                                |
|---------------|--------------------------------|
| DRD Region    | Norte                          |
| Municipio     | Vega Baja                      |
| Park Name     | Urb San Vicente-Bo Cabo Caribe |
| Park Type     |                                |
| CAT A PW      | Unknown                        |
| CAT B PW      | Unknown                        |
| CAT C-G PW    | Unknown                        |
| Address       |                                |
| Park Entrance |                                |





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## **PARK SAFETY & DAMAGE SUMMARY**

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|                             |                                      |
|-----------------------------|--------------------------------------|
| Overall Park Damage         | Minimal (0%-20%)                     |
| Overall Usability           | All areas/facilities usable or safe. |
| Current Usage               | All of the park being used.          |
| Immediate Hazards to Safety |                                      |





## PARK AMENITIES

|  |                                     |
|--|-------------------------------------|
| Offices, Maintenance, or Storage Buildings | <input type="checkbox"/>            |
| Community Center Building                  | <input type="checkbox"/>            |
| Concession Stand(s)                        | <input type="checkbox"/>            |
| Restrooms (Stand Alone Buildings Only)     | <input type="checkbox"/>            |
| Rental Villas                              | <input type="checkbox"/>            |
| Parking Lot(s)                             | <input type="checkbox"/>            |
| Gazebos                                    | <input type="checkbox"/>            |
| Rental Equipment                           | <input type="checkbox"/>            |
| Campgrounds or Picnic Areas                | <input type="checkbox"/>            |
| Beaches                                    | <input type="checkbox"/>            |
| Outdoor Lighting                           | <input type="checkbox"/>            |
| Baseball Field(s)                          | <input type="checkbox"/>            |
| Basketball Court(s)                        | <input checked="" type="checkbox"/> |
| Tennis Court(s)                            | <input type="checkbox"/>            |
| Soccer Field(s)                            | <input type="checkbox"/>            |
| Swimming Pool(s)                           | <input type="checkbox"/>            |
| Playground(s)                              | <input type="checkbox"/>            |
| Track(s)                                   | <input type="checkbox"/>            |
| Pumping Station                            | <input type="checkbox"/>            |



## UTILITIES

---

|                             |     |
|-----------------------------|-----|
| Water Service Available     | Yes |
| Electric Service Available  | Yes |
| Sewer Service Available     | Yes |
| Septic Service Available    | N/A |
| Telephone Service Available | N/A |



## FENCE DAMAGE

For fence damage at specific facilities such as baseball fields or tennis courts, add the fence damage on that facility page

Fence damage at the park: No

## PESTS

Were any pests observed? Yes

Check all that apply:

|             |                                     |
|-------------|-------------------------------------|
| Mosquitos   | <input type="checkbox"/>            |
| Rats        | <input type="checkbox"/>            |
| Birds       | <input checked="" type="checkbox"/> |
| Termites    | <input type="checkbox"/>            |
| Bats        | <input type="checkbox"/>            |
| Snakes      | <input type="checkbox"/>            |
| Moths       | <input type="checkbox"/>            |
| Bees/Wasps  | <input type="checkbox"/>            |
| Cockroaches | <input checked="" type="checkbox"/> |
| Ants        | <input type="checkbox"/>            |
| Other       | <input type="checkbox"/>            |

Do the pests pose a safety hazard? Yes

Describe safety hazard in comments.

Comments

Transference of diseases appears to be infested with pigeons

## PEST PHOTOS

Pest Photo

Pest type

Pest Photo

Pest 01

Birds





Coordinates:

Latitude: 18.4568 Longitude:  
-66.3525**VEGETATIVE DAMAGES**

Collect vegetative damage information for all areas of the park here.

|   |                          |
|---|--------------------------|
| Vegetative Debris                                 | None                     |
| Vegetative Debris on the Ground Including Stumps? | No                       |
| Leaning Trees?                                    | No                       |
| Hanging Branches?                                 | No                       |
| Stumps in the Ground?                             | No                       |
| Do you need to collect photos?                    | <input type="checkbox"/> |

**NON-VEGETATIVE DEBRIS DAMAGE**

|                              |      |
|------------------------------|------|
| Non-vegetative debris damage | None |
|------------------------------|------|

**BASKETBALL COURTS**

|                  |          |
|------------------|----------|
| Basketball Court | Court 01 |
|------------------|----------|

**BASKETBALL COURT DAMAGE**

|  |  |
|--|--|
| Basketball Court Damage                    | Yes                                      |
| Comments                                   |  |
| Section roof missing alone age at entrance |  |
| Basketball Court Location                  | Latitude: 18.4600 Longitude:<br>-66.3530 |
| Damage to Court Surface                    | None                                     |
| Damaged Lighting                           | No                                       |
| Bleacher Damage                            | No                                       |
| Fence Damage                               | N/A                                      |
| Roof Damage                                | Yes                                      |
| Type of Roof Damage                        | Missing Sections                         |
| Predominant Roof Construction Material     | Metal                                    |
| Safety Hazard at Basketball Court          | No                                       |

**BASKETBALL PHOTOS**

|                  |                |
|------------------|----------------|
| Basketball Photo | Court Photo 01 |
|------------------|----------------|





Basketball Court Photo



Basketball Photo

Court Photo 02



Basketball Court Photo



Basketball Photo

Court Photo 03



Basketball Court Photo



Basketball Photo

Court Photo 04

Basketball Court Photo



Basketball Photo

Court Photo 05

## Basketball Court Photo



## COMPLETION

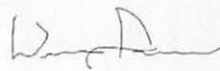
Completion Date

05/03/2018

Completion Time

14:27

Signature







Lance Brady 5/3/18

DRD Assessment

No.: 00060  
Date: 19/04/2018

## FIELD ASSESSOR INFORMATION

|   |                                 |
|---|---------------------------------|
| Field Assessor Name(s) (check all that apply) | David Miller<br>Darion Grainger |
| Inspection Date                               | 04/19/2018                      |
| Inspection Time                               | 14:02                           |
| Drone used to capture photos?                 | No                              |

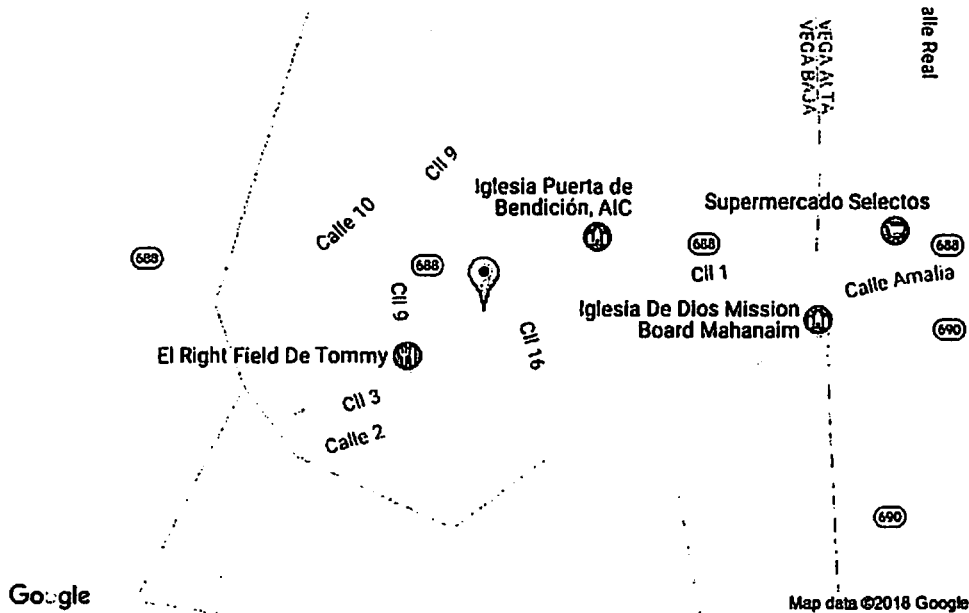
## SITE INFORMATION

|               |                 |
|---------------|-----------------|
| DRD Region    | Norte           |
| Municipio     | Vega Baja       |
| Park Name     | Barrio Sabana   |
| Park Type     | Parque Regional |
| Cat A PW      | DRD-101-A       |
| Cat B PW      | DRD-101-B-Fen   |
| Cat C-G PW    | DRD-101-Perm    |
| Address       |                 |
| Park Entrance |                 |





Park Location Map



Park Location Coordinates

Latitude: 18.4600 Longitude:  
-66.3536



|                         |  |   |                                    |
|-------------------------|--|---|------------------------------------|
| Total List<br>This Site | Veg Debris                               | Use discounted unit<br>cost for<br>high qty | 40 hrs<br>103 cy Mat<br>1,027 C.Y. |
|                         | 69 + 66 + 333 + 59                       |   |                                    |
|                         | Crew Labor for hanging branches & stumps |   | 2 days                             |
|                         | Repair concrete roofs at Restrooms       |   | 1 day                              |
|                         | Replace metal canopy panels bleachers    |   | 1200 S.F.                          |
|                         | Ch Link Fence 6'                         | 150 + 60                                    | 210 L.F.                           |
|                         | Stadium Light Fixtures only              |   | 8 ea                               |

JMB 5/4/18

9:07 AM  
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## PARK SAFETY & DAMAGE SUMMARY

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Overall Park Damage  
Overall Usability  
  
Current Usage  
Immediate Hazards to Safety

Moderate (40%-60%)  
Some areas/facilities usable or  
safe.  
Some of the park being used.





## PARK AMENITIES

|  |   |
|--|---|
| Offices, Maintenance, or Storage Buildings |   |
| Community Center Building                  |   |
| Concession Stand(s)                        |   |
| Restrooms (Stand Alone Buildings Only)     | ✓ |
| Rental Villas                              |   |
| Parking Lot(s)                             |   |
| Gazebos                                    |   |
| Rental Equipment                           |   |
| Campgrounds or Picnic Areas                |   |
| Beaches                                    |   |
| Outdoor Lighting                           |   |
| Baseball Field(s)                          | ✓ |
| Basketball Court(s)                        | ✓ |
| Tennis Court(s)                            |   |
| Soccer Field(s)                            |   |
| Swimming Pool(s)                           |   |
| Playground(s)                              |   |
| Track(s)                                   |   |
| Pumping Station                            |   |



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UTILITIES

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|                             |     |
|-----------------------------|-----|
| Water Service Available     | Yes |
| Electric Service Available  | Yes |
| Sewer Service Available     | Yes |
| Septic Service Available    | N/A |
| Telephone Service Available | N/A |

**FENCE DAMAGE**

For fence damage at specific facilities such as baseball fields or tennis courts, add the fence damage on that facility page

Fence damage at the park: No

**PESTS**

Were any pests observed? Yes

Check all that apply:

|             |                                     |
|-------------|-------------------------------------|
| Mosquitos   | <input checked="" type="checkbox"/> |
| Rats        | <input checked="" type="checkbox"/> |
| Birds       | <input checked="" type="checkbox"/> |
| Termites    | <input checked="" type="checkbox"/> |
| Bats        | <input type="checkbox"/>            |
| Snakes      | <input type="checkbox"/>            |
| Moths       | <input type="checkbox"/>            |
| Bees/Wasps  | <input type="checkbox"/>            |
| Cockroaches | <input checked="" type="checkbox"/> |
| Ants        | <input checked="" type="checkbox"/> |
| Other       | <input type="checkbox"/>            |

Do the pests pose a safety hazard? Yes

Describe safety hazard in comments.

Comments

Transference of disease

**VEGETATIVE DAMAGES**

Collect vegetative damage information for all areas of the park here.

Vegetative Debris Moderate

Vegetative Debris on the Ground Including Yes

Stumps?

Leaning Trees? Yes

Hanging Branches? Yes

Stumps in the Ground? Yes

Do you need to collect photos? ☒

**DEBRIS ON GROUND**

Debris on Ground Debris 01

## Debris Photo



Location

Latitude: 18.4598 Longitude:  
-66.3540

Comments

Large debris pile next to massive stamps next to concession stand and restrooms in the baseball park area pose a safety hazard to baseball Park users and pedestrians.

Debris Type

Vegetative Debris

Length

25.00

Width

15.00

Height

5.00

Volume (cubic yards)

69.44

Debris on Ground

Debris 02

Debris Photo



Location

Latitude: 18.4413 Longitude:  
-66.3360

Comments

Large debris pile behind baseball park bleachers poses a safety hazard to baseball park users and pedestrians.

Debris Type

Vegetative Debris



|                      |        |
|----------------------|--------|
| Length               | 75.00  |
| Width                | 20.00  |
| Height               | 15.00  |
| Volume (cubic yards) | 833.33 |

Debris on Ground      Debris 03

Debris Photo



Location      Latitude: 18.4598 Longitude: -66.3541

Comments

Multiple debris piles along the first base line of the baseball park poses a safety hazard to baseball park users and pedestrians.

Debris Type      Vegetative Debris

Length      20.00

Width      20.00

Height      4.00

Volume (cubic yards)      59.26

## LEANING TREES

Leaning Tree      Leaner 01

Description

Multiple Leaning trees behind the bleachers in the baseball park pose a hazard to baseball Park users and pedestrians.

## HANGING BRANCHES

Hanging Branch      Hanging Branch 01



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**Comments**

Multiple hangers in large tree over dug out on third base side of baseball park poses a safety hazard to baseball park users in pedestrians.

**Hanging Branch****Hanging Branch 02****Comments**

Tree in the left field outfield along the fence line has multiple hangers hanging over the baseball park poses a danger to baseball park users and pedestrians.

**Hanging Branch****Hanging Branch 03****Comments**

Tree in centerfield of baseball park has hanging limbs over the baseball park that poses a safety hazard to baseball park users and pedestrians.

**Hanging Branch****Hanging Branch 04****Comments**

Large tree down third baseline in left field baseball park has multiple plane lands that poses a danger to baseball park users and pedestrians"

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**STUMP IN THE GROUND****Stump in the Ground****Stump 01****Comments**

Two massive stumps next to concession and restroom area and baseball park.

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**NON-VEGETATIVE DEBRIS DAMAGE****Non-vegetative debris damage****None**

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**BUILDINGS (OFFICES, RENTAL VILLAS, ETC.)****Building Type****Concession Stand 01****BUILDING DAMAGE**

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### Building Photo



Building Location

Latitude: 18.4598 Longitude:  
-66.3539

Number of Building Levels

1

Damage to Exterior

No

Able to Access Interior

No

Comments

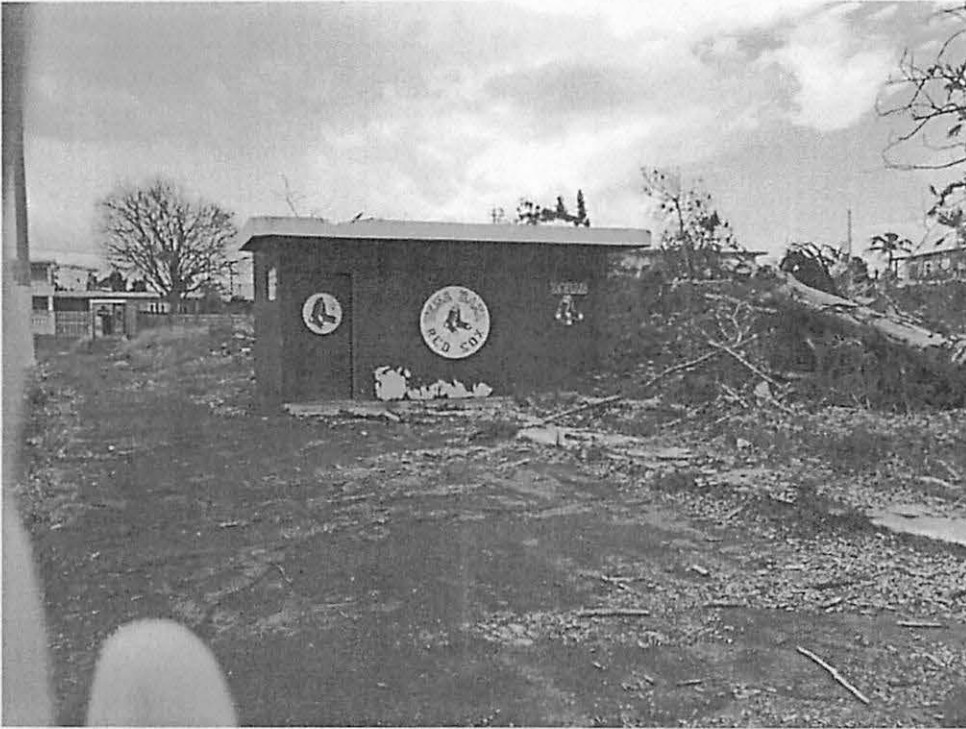
Baseball field concession stand appears to be in good working order.

Building Type

Restroom Building 01

**BUILDING DAMAGE**

## Building Photo



Building Location

 Latitude: 18.4598 Longitude:  
 -66.3540

Number of Building Levels

1

Damage to Exterior

Yes

Roof Damage

☒

Foundation Damage

☐

Wall Damage

☐

Door Damage

☐

Window Damage

☐

Able to Access Interior

No

Comments

Restrooms in the baseball Park area seem to have some damage to the roof and vegetative debris on the roof

Proceed to next screen to begin taking photos of exterior damage items first followed by interior damage.

**ROOF DAMAGE**

Roof Damage

Roof 01

Damage to roof:

Yes

Type of Damage

Missing Sections



|                                     |          |
|-------------------------------------|----------|
| Predominant Roof Material           | Concrete |
| Approximate roof area (square feet) | 10       |
| Approximate % of roof area damaged  | 10       |
| Roof Damage                         |          |



Comments

## BASEBALL FIELD

Baseball Field

Baseball Field 01

### BASEBALL FIELD DAMAGE

|                                 |                                       |
|---------------------------------|---------------------------------------|
| Baseball Field Damage           | Yes                                   |
| Baseball Field Location         | Latitude: 18.4590 Longitude: -66.3548 |
| Bleacher Damage                 | Yes                                   |
| Dugout Damage                   | No                                    |
| Fence Damage                    | Yes                                   |
| Damaged Lighting                | Yes                                   |
| Damage to Ground                | None                                  |
| Safety Hazard at Baseball Field | Yes                                   |

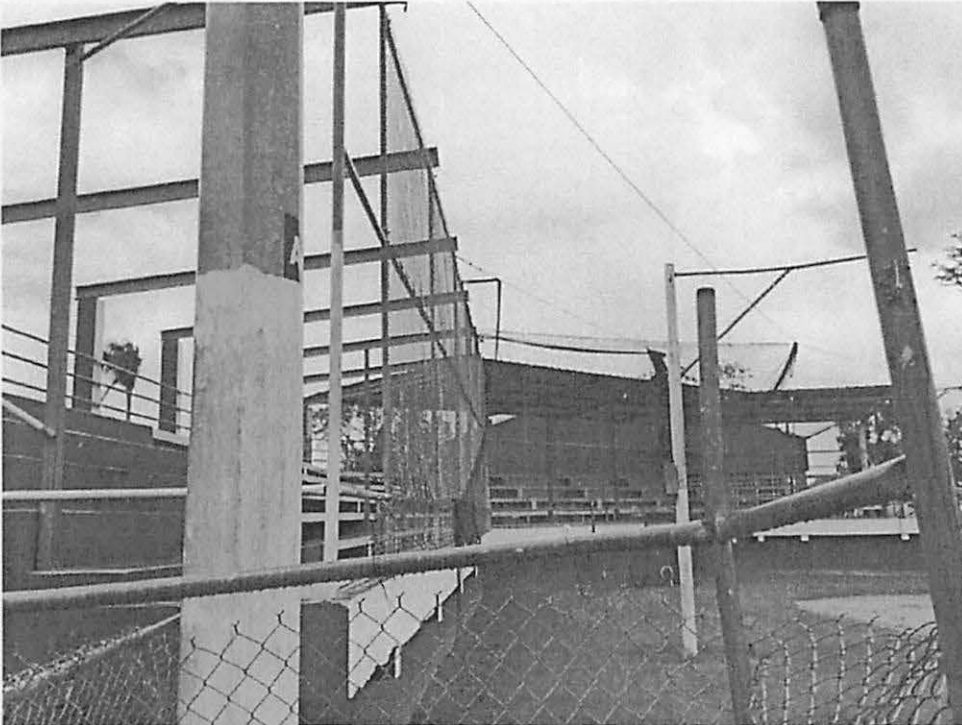
## Comments

Damage to canopy over stands and fencing around baseball park as well as trees with hangers vegetative piles pose a safety hazard to park users and pedestrians.

**BASEBALL FIELD BLEACHER**

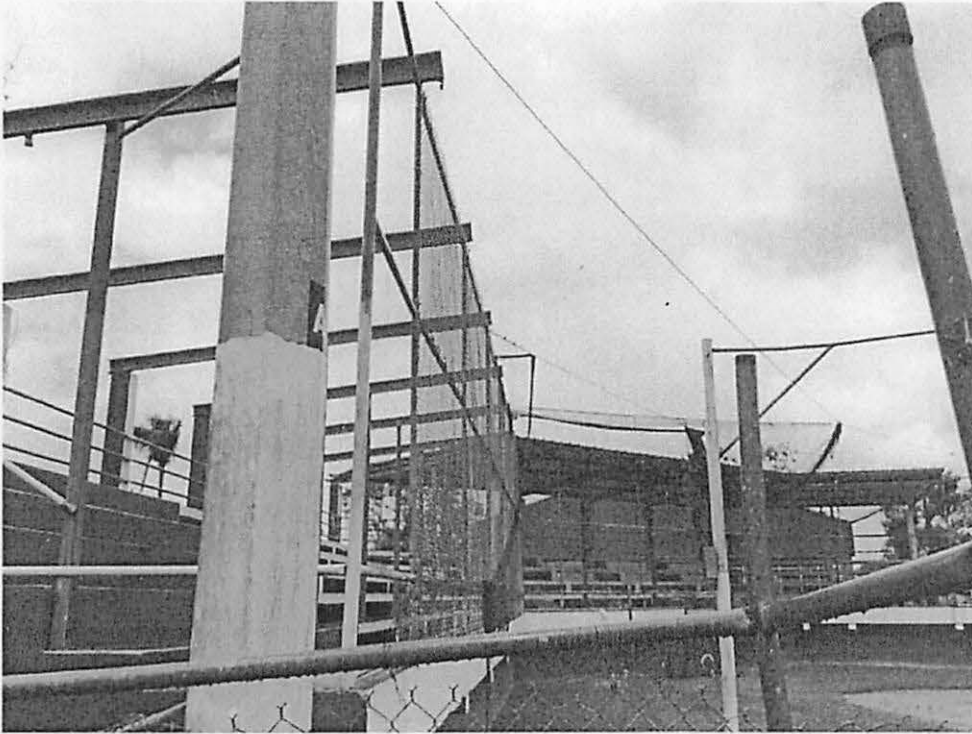
Baseball Field Bleacher  
Bleacher Photo

Baseball Bleacher 01



|  |       |
|--|-------|
| Bleacher Seat Damage                     | No    |
| Bleacher Canopy Damage                   | Yes   |
| Predominant Canopy Construction Material | Metal |
| Approximate canopy area (square feet)    | 1200  |
| Approximate % of canopy damage           | 50    |

Canopy Damage Photo



## BASEBALL FENCE DAMAGE

Baseball Fence Damage

Baseball Fence 01



## Fence Photo



Fence Location

Latitude: 18.4600 Longitude:  
-66.3535

Fence Material

Cyclone

Fence Height (feet)

4

Fence Length (feet)

150

Does Fence Damage Pose a Safety

Yes

Hazard?

Safety Hazard Comments

Damaged fence down first base line all the way through outfield poses a safety hazard to baseball park users and pedestrians.

Baseball Fence Damage

Baseball Fence 02



## Fence Photo



|  |                                       |
|--|---------------------------------------|
| Fence Location   | Latitude: 18.4379 Longitude: -66.3342 |
| Fence Material   | Cyclone                               |
| Fence Height (feet)  | 4                                     |
| Fence Length (feet)  | 60                                    |
| Does Fence Damage Pose a Safety Hazard?  | Yes                                   |
| Safety Hazard Comments   |                                       |
| Damage to fence in left center field poses a safety hazard to baseball park users and pedestrians. |                                       |

**BASEBALL FIELD LIGHTS**

Baseball Field Lights

Baseball Light 01

## Example of Damaged Lighting



|   |               |
|---|---------------|
| Light Pole Material                         | Metal         |
| Light Pole Damage                           | Damaged Bulbs |
| Number of Damaged Poles of this Type        | 8             |
| Light Pole Height                           | 30            |
| Number of Damaged Bulbs or Fixtures on Pole | 6             |
| Comments                                    |               |

All baseball lighting poles seem to be in good working order other than it is assumed that all bulbs are broken.

*so fixtures only*

**BASKETBALL COURTS**

Basketball Court

Court 01

**BASKETBALL COURT DAMAGE**

Basketball Court Damage

No

Comments

Covered basketball court appears to be in good working order and not part of the school next to it.

|                                   |                                       |
|-----------------------------------|---------------------------------------|
| Basketball Court Location         | Latitude: 18.4559 Longitude: -66.3541 |
| Damage to Court Surface           | None                                  |
| Bleacher Damage                   | No                                    |
| Fence Damage                      | No                                    |
| Safety Hazard at Basketball Court | No                                    |
| <b>BASKETBALL PHOTOS</b>          |                                       |

Basketball Photo

Court Photo 01

Basketball Court Photo



Photo Description

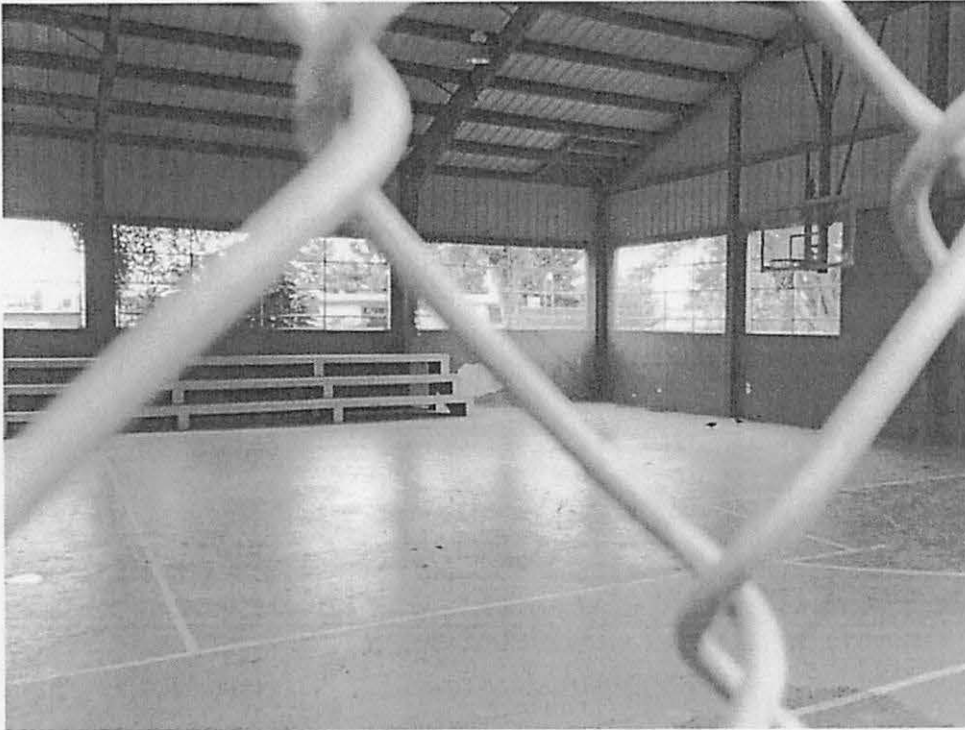
Covered basketball court appears to be in good working order and in use.

Basketball Photo

Court Photo 02



## Basketball Court Photo



## SUAV PHOTOS

 Aerial Photo  
 Description

## COMPLETION

|                 |            |
|-----------------|------------|
| Completion Date | 04/19/2018 |
| Completion Time | 14:56      |
| Signature       |            |





**Standard Estimate Report**  
**URB COLINAS DEL MARQ 056****NORTE**  
**VEGA BAJA**  
**URB COLINAS DEL MARQUES NO.00056**

|                      |   |
|----------------------|---|
| Project name         | URB COLINAS DEL MARQ 056                                  |
| Estimator            | Brumbach, John  |
| Labor rate table     | LAB-2017-Burd/WC  |
| Equipment rate table | EQP-2017  |
| Location No          | NA  |
| Revision No          | 00  |
| Park Alpha Code      | SAJU  |
| Work Order Type      | Unknown   |
| Database             | CESSDATA17  |
| Pricing Date         | 1/1/2017  |
| Site Number          | P300  |
| Status               | CREATED   |
| Report format        | Sorted by 'Assembly'<br>'Detail' summary<br>Combine items |
| Cost index           | SAJU  |

| Phase  | Item      | Description   | Takeoff Qty | Labor        |        | Material     |        | Equipment | Total  |
|--|-----------|---|-------------|--------------|--------|--------------|--------|-----------|--------|
|  |           |   |             | Unit Cost    | Amount | Unit Cost    | Amount | Amount    | Amount |
| G2042.100-N410 MULCH 6" MINUS DEBRIS           |           |   |             |              |        |              |        |           |        |
| n  | 0154.3320 | 2860 Power Mulcher (Large)  | 2.25 dy     | -            | -      | -            | -      | 670       | 670    |
| n  | 0241.1919 | 2003 Rubbish handling, remove debris  | 100.00 cy   | 44.092 /cy   | 4,409  | -            | -      | -         | 4,409  |
|  |           | MULCH 6" MINUS DEBRIS   |             | 44.092/cy    | 4,409  |              |        | 670       | 5,079  |
|  |           | 100.00 cy   |             |              |        |              |        |           |        |
|  |           | 86.67 Labor hours   |             |              |        |              |        |           |        |
|  |           | 18.00 Equipment hours   |             |              |        |              |        |           |        |
| G2042.100-N500 BASKETBALL GOAL (INCLUDES POST) |           |   |             |              |        |              |        |           |        |
| n  | 3231.1333 | 0300 Backstops, basketball, steel, single goal, with pole                   | 2.00 ea     | 1,017.75 /ea | 2,036  | 1,572.80 /ea | 3,146  | 436       | 5,617  |
| n  | 0241.1394 | 0200 Selective demolition, athletic screening, basketball goal, single      | 2.00 ea     | 220.76 /ea   | 442    | -            | -      | 120       | 562    |
|  | 3233.4313 | 0011 Picnic Table, 8' - Recycled Plastic Planks                             | 2.00 ea     | 903.26 /ea   | 1,807  | 984.16 /ea   | 1,968  | -         | 3,775  |
|  |           | BASKETBALL GOAL (INCLUDES POST)   |             | 2,141.77 /ea | 4,284  | 2,556.96 /ea | 5,114  | 556       | 9,953  |
|  |           | 2.00 ea   |             |              |        |              |        |           |        |
|  |           | 76.842 Labor hours  |             |              |        |              |        |           |        |
|  |           | 7.93 Equipment hours  |             |              |        |              |        |           |        |
| G2042.100-N500                                 |           |   |             |              |        |              |        |           |        |
| n  | 0110.0001 | 0000 NPS CESS Data Update 2017; Prices as of 1/1/2017; Revision 1 Release 0 |             | -            | -      | -            | -      | -         | -      |
|  | 0110.0001 | 0001 General Template April 2017; Revision 0 Release b                      |             | -            | -      | -            | -      | -         | -      |

## Estimate Totals

| Description                     | Amount        | Totals        | Hours       | Rate     | Cost Basis | Cost per Unit | Percent of Total |
|---------------------------------|---------------|---------------|-------------|----------|------------|---------------|------------------|
| Labor                           | 8,693         |               | 163,507 hrs |          |            |               | 23.57%           |
| Material                        | 5,114         |               |             |          |            |               | 13.87%           |
| Subcontract                     |               |               |             |          |            |               |                  |
| Equipment                       | 1,226         |               | 25,930 hrs  |          |            |               | 3.32%            |
| Other                           |               |               |             |          |            |               |                  |
|                                 | <b>15,033</b> | <b>15,033</b> |             |          |            |               | <b>40.77</b>     |
| Remoteness Factor (0-20%)       | 3,007         |               |             | 20,000 % | T          |               | 8.15%            |
| Historic Preservation Factor    |               |               |             |          | T          |               |                  |
| Design Contingency (Std 20%)    | 3,608         |               |             | 20,000 % | T          |               | 9.78%            |
| <b>Subtotal Allocated Costs</b> | <b>6,615</b>  | <b>21,648</b> |             |          |            |               | <b>17.94</b>     |
| 8a                              | 3,247         |               |             | 15,000 % | T          |               | 8.81%            |
| Hurricane                       |               |               |             |          | T          |               |                  |
| General & Administrative (15%)  | 3,734         |               |             | 15,000 % | T          |               | 10.13%           |
| Overhead (Standard 15%)         | 4,294         |               |             | 15,000 % | T          |               | 11.65%           |
| Profit (Standard 12%)           | 3,951         |               |             | 12,000 % | T          |               | 10.71%           |
| <b>Subtotal Services Costs</b>  | <b>15,226</b> | <b>36,874</b> |             |          |            |               | <b>41.29</b>     |
| <b>Total</b>                    |               | <b>36,874</b> |             |          |            |               |                  |



## FIELD ASSESSOR INFORMATION

|   |                                |
|---|--------------------------------|
| Field Assessor Name(s) (check all that apply) | Javier Herrera<br>Travis Jones |
| Other Field Assessor Name(s)                  |                                |
| Zach Becker                                   |                                |
| Inspection Date                               | 04/19/2018                     |
| Inspection Time                               | 12:23                          |
| Drone used to capture photos?                 | No                             |

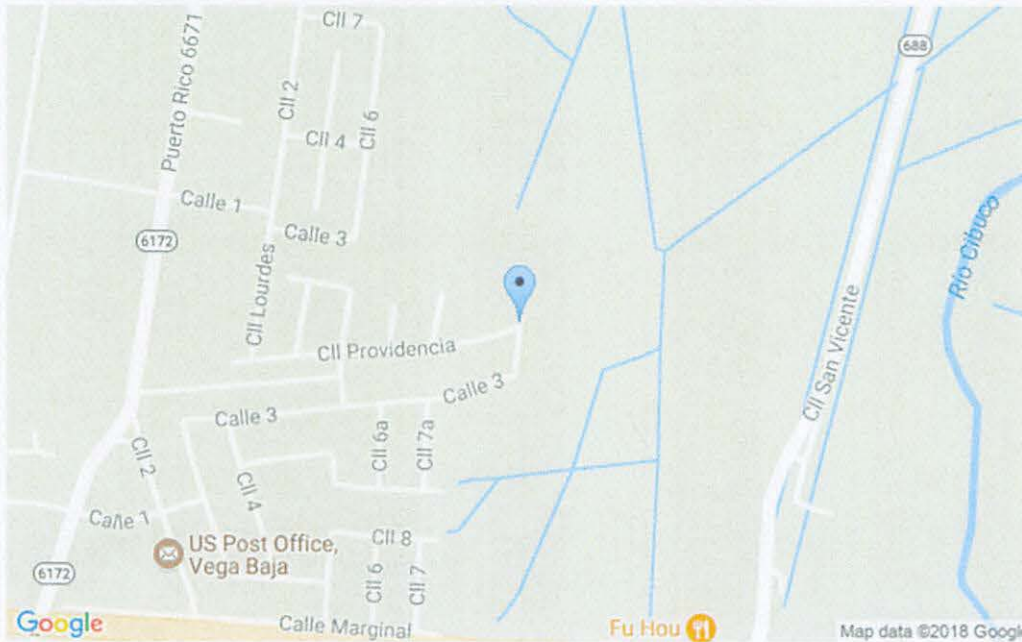
## SITE INFORMATION

|               |                         |
|---------------|-------------------------|
| DRD Region    | Norte                   |
| Municipio     | Vega Baja               |
| Park Name     | Urb Colinas del Marques |
| Park Type     |                         |
| Cat A PW      | DRD-101-A               |
| Cat B PW      | DRD-101-B-Fen           |
| Cat C-G PW    | DRD-101-Perm            |
| Address       |                         |
| Park Entrance |                         |





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Park Location Map

Park Location Coordinates

Latitude: 18.4352 Longitude:  
-66.3723







## PARK SAFETY & DAMAGE SUMMARY

---

Overall Park Damage

Overall Usability

Current Usage

Immediate Hazards to Safety

Park appears abandoned.

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**PARK AMENITIES**

---

|  |                                     |
|--|-------------------------------------|
| Offices, Maintenance, or Storage Buildings | <input type="checkbox"/>            |
| Community Center Building                  | <input type="checkbox"/>            |
| Concession Stand(s)                        | <input type="checkbox"/>            |
| Restrooms (Stand Alone Buildings Only)     | <input type="checkbox"/>            |
| Rental Villas                              | <input type="checkbox"/>            |
| Parking Lot(s)                             | <input type="checkbox"/>            |
| Gazebos                                    | <input type="checkbox"/>            |
| Rental Equipment                           | <input type="checkbox"/>            |
| Campgrounds or Picnic Areas                | <input type="checkbox"/>            |
| Beaches                                    | <input type="checkbox"/>            |
| Outdoor Lighting                           | <input type="checkbox"/>            |
| Baseball Field(s)                          | <input type="checkbox"/>            |
| Basketball Court(s)                        | <input checked="" type="checkbox"/> |
| Tennis Court(s)                            | <input type="checkbox"/>            |
| Soccer Field(s)                            | <input type="checkbox"/>            |
| Swimming Pool(s)                           | <input type="checkbox"/>            |
| Playground(s)                              | <input type="checkbox"/>            |
| Track(s)                                   | <input type="checkbox"/>            |
| Pumping Station                            | <input type="checkbox"/>            |



## UTILITIES

---

|                             |     |
|-----------------------------|-----|
| Water Service Available     | N/A |
| Electric Service Available  | N/A |
| Sewer Service Available     | N/A |
| Septic Service Available    | N/A |
| Telephone Service Available | N/A |



## FENCE DAMAGE

For fence damage at specific facilities such as baseball fields or tennis courts, add the fence damage on that facility page

Fence damage at the park: No

## FENCE PHOTOS

Fence

Fence 01

Fence Photo



Fence Location

Fence Material N/A

Fence Height in Feet 6

Fence Length in Feet 1

Fence Damage N/A

Does the fence damage pose a safety hazard? Yes

Fence Comments

Overgrowth does not allow access to perimeter fencing



## PESTS

Were any pests observed? No

## VEGETATIVE DAMAGES

Collect vegetative damage information for all areas of the park here.

Vegetative Debris Moderate

Vegetative Debris on the Ground Including Yes

Stumps?

Leaning Trees? No

Hanging Branches? No

Stumps in the Ground? No

Vegetative Debris Comments:

Vegetative debris on ground throughout Park area

Do you need to collect photos? ☒

## DEBRIS ON GROUND

Debris on Ground Debris 01

Debris Photo



Location

Comments

Vegetative debris throughout park estimated about 100 yd.<sup>3</sup>

Debris Type Vegetative Debris

Length 1.00

Width 1.00

Height 1.00

Volume (cubic yards) 0.04

## NON-VEGETATIVE DEBRIS DAMAGE



|                              |      |
|------------------------------|------|
| Non-vegetative debris damage | None |
|------------------------------|------|

## BASKETBALL COURTS

|                  |          |
|------------------|----------|
| Basketball Court | Court 01 |
|------------------|----------|

### BASKETBALL COURT DAMAGE

|                         |     |
|-------------------------|-----|
| Basketball Court Damage | Yes |
|-------------------------|-----|

#### Comments

Spoke with neighbor Park has not been in use for as long as he's lived here in the last five years

|                           |                                       |
|---------------------------|---------------------------------------|
| Basketball Court Location | Latitude: 18.4451 Longitude: -66.3899 |
|---------------------------|---------------------------------------|

|                         |      |
|-------------------------|------|
| Damage to Court Surface | None |
|-------------------------|------|

|                  |     |
|------------------|-----|
| Damaged Lighting | N/A |
|------------------|-----|

|                 |     |
|-----------------|-----|
| Bleacher Damage | N/A |
|-----------------|-----|

|              |     |
|--------------|-----|
| Fence Damage | N/A |
|--------------|-----|

|             |     |
|-------------|-----|
| Roof Damage | N/A |
|-------------|-----|

|                                   |     |
|-----------------------------------|-----|
| Safety Hazard at Basketball Court | Yes |
|-----------------------------------|-----|

#### Safety Hazard Details

Park filled with veg debris no perimeter fencing

### BASKETBALL PHOTOS

|                  |                |
|------------------|----------------|
| Basketball Photo | Court Photo 01 |
|------------------|----------------|



## Basketball Court Photo



## Photo Description

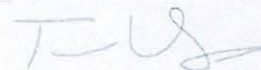
Both basketball backboards missing. Neighbor said park has been abandoned over five years

## SUAV PHOTOS

Aerial Photo  
Description

## COMPLETION

|                 |            |
|-----------------|------------|
| Completion Date | 04/19/2018 |
| Completion Time | 12:44      |
| Signature       |            |



**NORTE  
VEGA BAJA  
URB LAS FLORAS**

|                      |   |
|----------------------|---|
| Project name         | 0116  |
| Estimator            | KDowns  |
| Labor rate table     | LAB-2017-Burd/WC                                  |
| Equipment rate table | EQP-2017  |
| Location No          | NA  |
| Revision No          | 00  |
| Park Alpha Code      | SAJU  |
| Work Order Type      | Unknown   |
| Database             | CESSDATA17  |
| Pricing Date         | 1/1/2017  |
| Site Number          | P300  |
| Status               | CREATED   |
| Report format        | Sorted by 'Group phase/Phase'<br>'Detail' summary |
| Cost Index           | SAJU  |

| Item   | Description   | Takeoff Qty | Unit Cost    | Amount       |
|--|---|-------------|--------------|--------------|
| <b>0110.0000 SUMMARY</b>                             |   |             |              |              |
| <b>0110.0001 Summary</b>                             |   |             |              |              |
| n  | 0000 NPS CESS Data Update 2017; Prices as of 1/1/2017; Revision 1 Release 0 |             | -            | -            |
|  | 0001 General Template April 2017; Revision 0 Release b                      |             | -            | -            |
| <b>SUMMARY</b>                                       |   |             |              | <b>0</b>     |
| <b>0131.0000 PROJECT MANAGEMENT AND COORDINATION</b> |   |             |              |              |
| <b>0131.1320 Field Personnel</b>                     |   |             |              |              |
| n  | 0120 Field personnel, field engineer, average                               | 1.00 wk     | 1,449.93 /wk | 1,450        |
| n  | 0160 Field personnel, general purpose laborer, average                      | 3.00 wk     | 1,548.23 /wk | 4,645        |
|  | Field Personnel   |             |              | 6,095        |
|  | 160.00 Labor hours  |             |              |              |
| <b>PROJECT MANAGEMENT AND COORDINATION</b>           |   |             |              | <b>6,095</b> |
|  | 160.00 Labor hours  |             |              |              |
| <b>0193.0000 FACILITY MAINTENANCE</b>                |   |             |              |              |
| <b>0193.0220 Maintenance &amp; Repair Electrical</b> |   |             |              |              |
| n  | 2833 Position truck, raise and lower boom bucket                            | 8.00 ea     | 19.90 /ea    | 119          |
| n  | 2843 Remove 30' parking lot light pole with fixtures                        | 2.00 ea     | 173.22 /ea   | 348          |
|  | Maintenance & Repair Electrical   |             |              | 468          |
|  | 6.733 Labor hours   |             |              |              |
|  | 1.87 Equipment hours  |             |              |              |
| <b>0193.0250 Maintenance &amp; Repair Mechanical</b> |   |             |              |              |
| n  | 8183 Test pole-mounted H.I.D. fixture                                       | 2.00 ea     | 5.10 /ea     | 10           |
| n  | 8193 Turn branch circuit off and on, pole light                             | 2.00 ea     | 25.51 /ea    | 51           |
|  | Maintenance & Repair Mechanical   |             |              | 61           |
|  | 0.89 Labor hours  |             |              |              |
|  | 0.444 Equipment hours   |             |              |              |
| <b>FACILITY MAINTENANCE</b>                          |   |             |              | <b>527</b>   |
|  | 7.622 Labor hours   |             |              |              |
|  | 2.311 Equipment hours   |             |              |              |
| <b>0241.0000 DEMOLITION</b>                          |   |             |              |              |
| <b>0241.1317 Demolish, Remove Pavement And Curb</b>  |   |             |              |              |
| n  | 3003 Remove existing concrete pavement                                      | 20.00 sf    | 5.97 /sf     | 119          |
|  | Demolish, Remove Pavement And Curb  |             |              | 119          |
|  | 2.133 Labor hours   |             |              |              |
|  | 1.07 Equipment hours  |             |              |              |

Standard Estimate Report  
0116

| Unit Cost | Material | Subcontract | Equipment | Other  | Total  |
|-----------|----------|-------------|-----------|--------|--------|
| Amount    | Amount   | Name        | Amount    | Amount | Amount |
| -         | -        | -           | -         | -      | -      |
| -         | -        | -           | -         | -      | -      |
| 0         | 0        |             | 0         | 0      | 0      |
| -         | -        | -           | -         | -      | 1,450  |
| -         | -        | -           | -         | -      | 4,845  |
|           |          |             |           |        | 6,095  |
| 0         | 0        |             | 0         | 0      | 6,095  |
| -         | -        | -           | 28        | -      | 148    |
| -         | -        | -           | 34        | -      | 380    |
|           |          |             | 60        |        | 528    |
| -         | -        | -           | 2         | -      | 12     |
| -         | -        | -           | 11        | -      | 62     |
|           |          |             | 13        |        | 76     |
| 0         | 0        |             | 74        | 0      | 601    |
| -         | -        | -           | 50        | -      | 169    |
|           |          |             | 50        |        | 169    |



| Item  | Description  | Takeoff Qty | Unit Cost  | Amount       |
|---|--|-------------|------------|--------------|
| <b>DEMOLITION</b>   |  |             |            | <b>119</b>   |
|   | 2.133 Labor hours  |             |            |              |
|   | 1.07 Equipment hours   |             |            |              |
| <b>0991.0000</b>  | <b>PAINTING</b>  |             |            |              |
| n 0991.0330   | Exterior Surface Preparation   |             |            |              |
| 0430  | Surface preparation, exterior, windows, per side, scrape & sand, wood, 3-6 lbs, excl. trim                     | 3,000.00 sf | 1.523 /sf  | 4,569        |
|   | Exterior Surface Preparation   |             |            | 4,569        |
|   | 65.714 Labor hours   |             |            |              |
| n 0991.1390   | Walls, Masonry (Cmu), Exterior   |             |            |              |
| 0440  | Paints & coatings, walls, concrete masonry units (CMU), smooth surface, second coat, waterproof sealer, roller | 3,000.00 sf | 0.21 /sf   | 621          |
|   | Walls, Masonry (Cmu), Exterior   |             |            | 621          |
|   | 11.650 Labor hours   |             |            |              |
| <b>PAINTING</b>   |  |             |            | <b>5,189</b> |
|   | 97.385 Labor hours   |             |            |              |
| <b>1014.0000</b>  | <b>SIGNAGE</b>   |             |            |              |
| 1014.1910   | Exterior Signs   |             |            |              |
| 0008  | Entrance Sign: Aluminum Sign Board   | 20.00 sf    | 8.001 /sf  | 160          |
|   | Exterior Signs   |             |            | 160          |
|   | 2.50 Labor hours   |             |            |              |
| <b>SIGNAGE</b>  |  |             |            | <b>160</b>   |
|   | 2.50 Labor hours   |             |            |              |
| <b>2605.1900</b>  | <b>Low-Voltage Electrical Power Conductors And Cables</b>  |             |            |              |
| n 2605.1990   | Wire   |             |            |              |
| 0963  | Pull new wires in existing underground conduits (3#10 @ 500')  | 30.00 cft   | 71.66 /cft | 2,150        |
|   | Wire   |             |            | 2,150        |
|   | 31.21 Labor hours  |             |            |              |
| <b>Low-Voltage Electrical Power Conductors And Cables</b> |  |             |            | <b>2,150</b> |
|   | 31.21 Labor hours  |             |            |              |
| <b>2656.0000</b>  | <b>EXTERIOR LIGHTING</b>   |             |            |              |
| n 2656.1310   | Lighting Poles   |             |            |              |
| 3203  | Install 30' aluminum light pole (incl. arms & fixtures) onto base  | 2.00 ea     | 692.88 /ea | 1,386        |
| n 4003  | Install 2 bracket arms onto aluminum light pole  | 4.00 ea     | 89.60 /ea  | 358          |

| Material     |        | Subcontract |      | Equipment | Other  | Total  |
|--------------|--------|-------------|------|-----------|--------|--------|
| Unit Cost    | Amount | Amount      | Name | Amount    | Amount | Amount |
|              | 0      | 0           |      | 50        | 0      | 169    |
|              |        |             |      |           |        |        |
|              | -      | -           |      | -         | -      | 4,568  |
|              |        |             |      |           |        | 4,568  |
| 0.27 /sf     | 795    | -           |      | -         | -      | 1,416  |
|              | 795    |             |      |           |        | 1,416  |
|              | 795    | 0           |      | 0         | 0      | 5,983  |
|              |        |             |      |           |        |        |
| 131.90 /sf   | 2,638  | -           |      | -         | -      | 2,798  |
|              | 2,638  |             |      |           |        | 2,798  |
|              | 2,638  | 0           |      | 0         | 0      | 2,798  |
|              |        |             |      |           |        |        |
| 16.42 /cft   | 492    | -           |      | -         | -      | 2,642  |
|              | 492    |             |      |           |        | 2,642  |
|              | 492    | 0           |      | 0         | 0      | 2,642  |
|              |        |             |      |           |        |        |
| 1,818.55 /on | 3,637  | -           |      | 136       | -      | 5,159  |
| 249.70 /on   | 995    | -           |      | -         | -      | 1,353  |

| Item      | Description   | Takeoff Qty | Unit Cost     | Amount       |
|-----------|---|-------------|---------------|--------------|
|           | Lighting Poles  |             |               | 1,744        |
|           | 25.203 Labor hours  |             |               |              |
|           | 4.00 Equipment hours  |             |               |              |
| 2656.3820 | Floodlights   |             |               |              |
| n 2404    | Install 400W H.P.S. fixture w/ lamp & ballast onto light pole | 4.00 ea     | 326.06 /ea    | 1,304        |
|           | Floodlights   |             |               | 1,304        |
|           | 18.935 Labor hours  |             |               |              |
|           | <b>EXTERIOR LIGHTING</b>                                      |             |               | <b>3,048</b> |
|           | 44.14 Labor hours   |             |               |              |
|           | 4.00 Equipment hours  |             |               |              |
| 2661.0000 | <b>LIGHTING SYSTEMS AND ACCESSORIES</b>                       |             |               |              |
| 2691.2310 | Lamps   |             |               |              |
| n 1403    | Remove & install 400W H.P.S. lamp, pole-mounted fixture       | 0.06 100    | 1,275.50 /100 | 77           |
|           | Lamps   |             |               | 77           |
|           | 1.111 Labor hours   |             |               |              |
|           | 0.56 Equipment hours  |             |               |              |
|           | <b>LIGHTING SYSTEMS AND ACCESSORIES</b>                       |             |               | <b>77</b>    |
|           | 1.111 Labor hours   |             |               |              |
|           | 0.56 Equipment hours  |             |               |              |
| 3105.0000 | <b>COMMON WORK RESULTS FOR EARTHWORK</b>                      |             |               |              |
| 3105.1610 | Borrow  |             |               |              |
| n 0103    | Bank run gravel, 3" avg.                                      | 0.74 lcy    | 3.64 /lcy     | 3            |
|           | Borrow  |             |               | 3            |
|           | 0.05 Labor hours  |             |               |              |
|           | 0.04 Equipment hours  |             |               |              |
|           | <b>COMMON WORK RESULTS FOR EARTHWORK</b>                      |             |               | <b>3</b>     |
|           | 0.05 Labor hours  |             |               |              |
|           | 0.04 Equipment hours  |             |               |              |
| 3122.0000 | <b>GRADING</b>  |             |               |              |
| 3122.1610 | Finish Grading  |             |               |              |
| n 0013    | Finish grading gravel base                                    | 20.00 sf    | 1.534 /sf     | 31           |
|           | Finish Grading  |             |               | 31           |
|           | 0.520 Labor hours   |             |               |              |
|           | 0.260 Equipment hours   |             |               |              |
|           | <b>GRADING</b>  |             |               | <b>31</b>    |
|           | 0.520 Labor hours   |             |               |              |
|           | 0.260 Equipment hours   |             |               |              |



| <u>Material</u> |        | <u>Subcontract</u> | <u>Equipment</u> | <u>Other</u> | <u>Total</u> |
|-----------------|--------|--------------------|------------------|--------------|--------------|
| Unit Cost       | Amount | Amount             | Name             | Amount       | Amount       |
|                 | 4,532  |                    |                  | 136          | 6,512        |
| 309.65 /ea      | 1,239  | -                  |                  | -            | 2,543        |
|                 | 1,239  |                    |                  |              | 2,543        |
|                 | 5,870  | 0                  |                  | 136          | 9,055        |
| 4,620.20 /100   | 277    | -                  |                  | 17           | 371          |
|                 | 277    |                    |                  | 17           | 371          |
|                 | 277    | 0                  |                  | 17           | 371          |
| 16.90 /lcy      | 13     | -                  |                  | 4            | 19           |
|                 | 13     |                    |                  | 4            | 19           |
|                 | 13     | 0                  |                  | 4            | 19           |
|                 | -      | -                  |                  | 22           | 52           |
|                 | -      |                    |                  | 22           | 52           |
|                 | 0      | 0                  |                  | 22           | 52           |

| Item   | Description  | Takeoff Qty | Unit Cost | Amount    |
|--|--|-------------|-----------|-----------|
| <b>3123.0000 EXCAVATION AND FILL</b>                 |  |             |           |           |
| <hr/>  |  |             |           |           |
| 3123.2324  | Compaction, Structural   |             |           |           |
| n  | 0603 Compaction, vibratory plate compaction                              | 0.98        | ecy       | 2.71 /ecy |
|  | Compaction, Structural   |             |           | 3         |
|  | 0.052 Labor hours  |             |           | 3         |
|  | 0.052 Equipment hours  |             |           |           |
|  | <b>EXCAVATION AND FILL</b>   |             |           | 3         |
|  | 0.052 Labor hours  |             |           |           |
|  | 0.052 Equipment hours  |             |           |           |
| <hr/>  |  |             |           |           |
| <b>3206.0000 SCHEDULES FOR EXTERIOR IMPROVEMENTS</b> |  |             |           |           |
| <hr/>  |  |             |           |           |
| 3206.1010  | Sidewalks, Driveways And Patios  |             |           |           |
| n  | 0313 Sidewalks, concrete, 3000 psi, broomed finish,<br>NO base, 4" thick | 80.00       | sf        | 3.02 /sf  |
|  | Sidewalks, Driveways And Patios  |             |           | 242       |
|  | 4.174 Labor hours  |             |           | 242       |
|  | <b>SCHEDULES FOR EXTERIOR IMPROVEMENTS</b>                               |             |           | 242       |
|  | 4.174 Labor hours  |             |           |           |

| Material  |        | Subcontract |      | Equipment | Other  | Total  |
|-----------|--------|-------------|------|-----------|--------|--------|
| Unit Cost | Amount | Amount      | Name | Amount    | Amount | Amount |
|           | -      | -           |      | 0         | -      | 3      |
|           |        |             |      | 0         |        | 3      |
| <hr/>     |        |             |      |           |        |        |
|           | 0      | 0           |      | 0         | 0      | 3      |
| <hr/>     |        |             |      |           |        |        |
| 1.94 /sf  | 155    | -           |      | -         | -      | 397    |
|           | 155    |             |      |           |        | 397    |
| <hr/>     |        |             |      |           |        |        |
|           | 155    | 0           |      | 0         | 0      | 397    |



## Estimate Totals

| Description                    | Amount | Totals | Hours       | Rate     | Cost Basis |
|--------------------------------|--------|--------|-------------|----------|------------|
| Labor                          | 17,842 |        | 350.870 hrs |          |            |
| Material                       | 10,241 |        |             |          |            |
| Subcontract                    |        |        |             |          |            |
| Equipment                      | 302    |        | 8.285 hrs   |          |            |
| Other                          |        |        |             |          |            |
|                                | 28,185 | 28,185 |             |          |            |
| Remoteness Factor (0-20%)      | 5,837  |        |             | 20.000 % | T          |
| Historic Preservation Factor   |        |        |             |          | T          |
| Design Contingency (Std 20%)   | 6,764  |        |             | 20.000 % | T          |
| Subtotal Allocated Costs       | 12,401 | 40,586 |             |          |            |
| 8a                             | 8,088  |        |             | 15.000 % | T          |
| Hurricane                      |        |        |             |          | T          |
| General & Administrative (15%) | 7,001  |        |             | 15.000 % | T          |
| Overhead (Standard 15%)        | 8,051  |        |             | 15.000 % | T          |
| Profit (Standard 12%)          | 7,407  |        |             | 12.000 % | T          |
| Subtotal Services Costs        | 28,547 | 69,133 |             |          |            |
| Total                          |        | 69,133 |             |          |            |

| Cost per Unit | Percent of Total |
|---------------|------------------|
|               | 25.52%           |
|               | 14.81%           |
|               | 0.44%            |
|               | <hr/>            |
|               | 40.77            |
|               | 8.15%            |
|               | <hr/>            |
|               | 9.78%            |
|               | 17.94            |
|               | 0.81%            |
|               | 10.13%           |
|               | 11.65%           |
|               | <hr/>            |
|               | 10.71%           |
|               | 41.20            |

- Veg removal 4 person crew - 1 week

↑  
Muller  
↑

by dumper

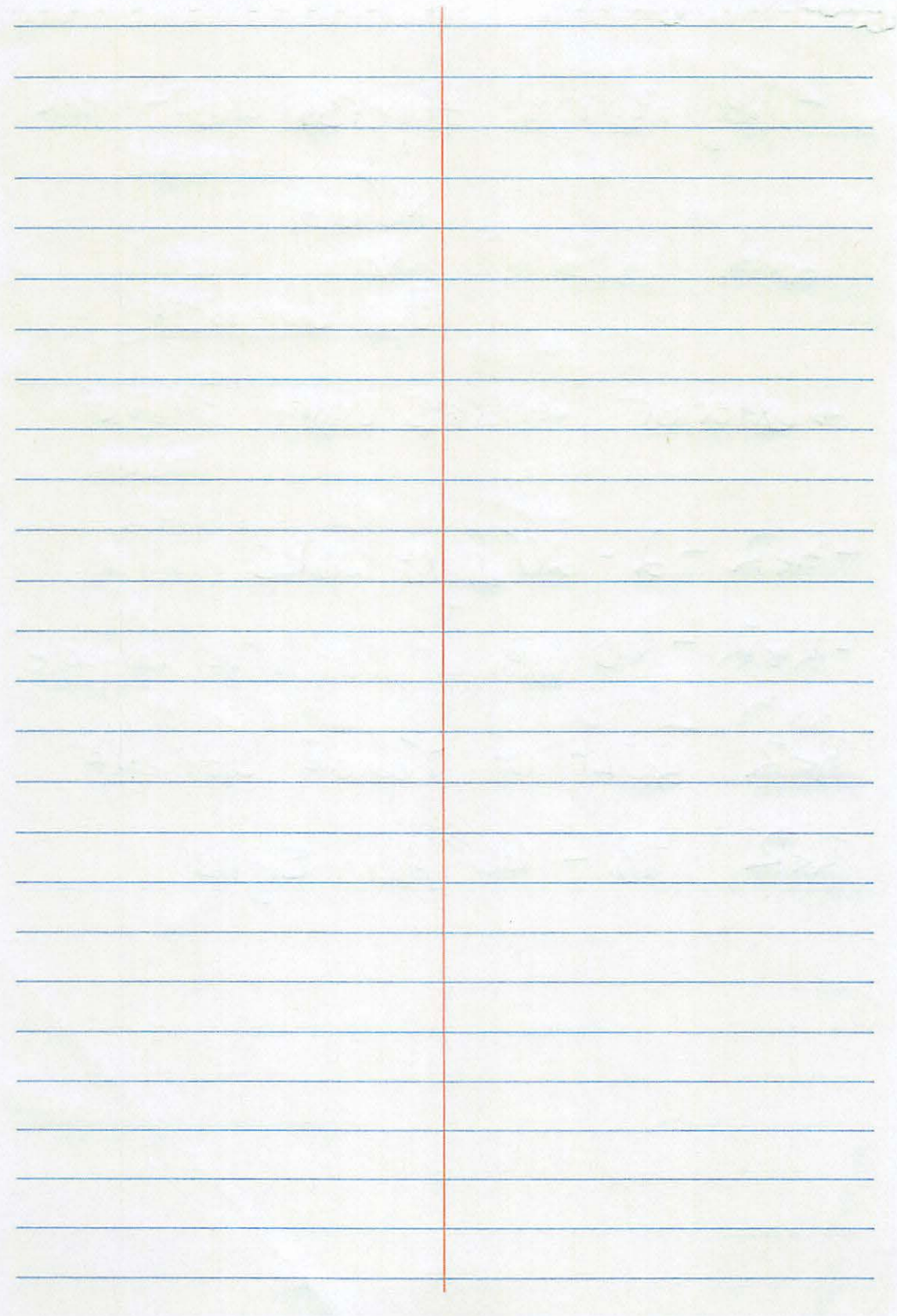
→ exterior concrete paint 3000 sq

- R+R - 2 - 20 light poles

- R+R - 60 exterior light fixture no pole

R+R 2015 of 4 wide sidewalk

R+R 48 - 60 Alum Signs







SG9,133  
Completed

DRD Assessment

No.: 00116  
Date: 08/06/2018

## FIELD ASSESSOR INFORMATION

Other Field Assessor Name(s)

Kevin Downs

Inspection Date

06/08/2018

Inspection Time

16:59

Drone used to capture photos?

No

## SITE INFORMATION

DRD Region

Norte

Municipio

Vega Baja

Park Name

Urb Las Flores

Park Type

Cat A PW

DRD-101-A

Cat B PW

DRD-101-B-Fen

Cat C-G PW

DRD-101-Perm

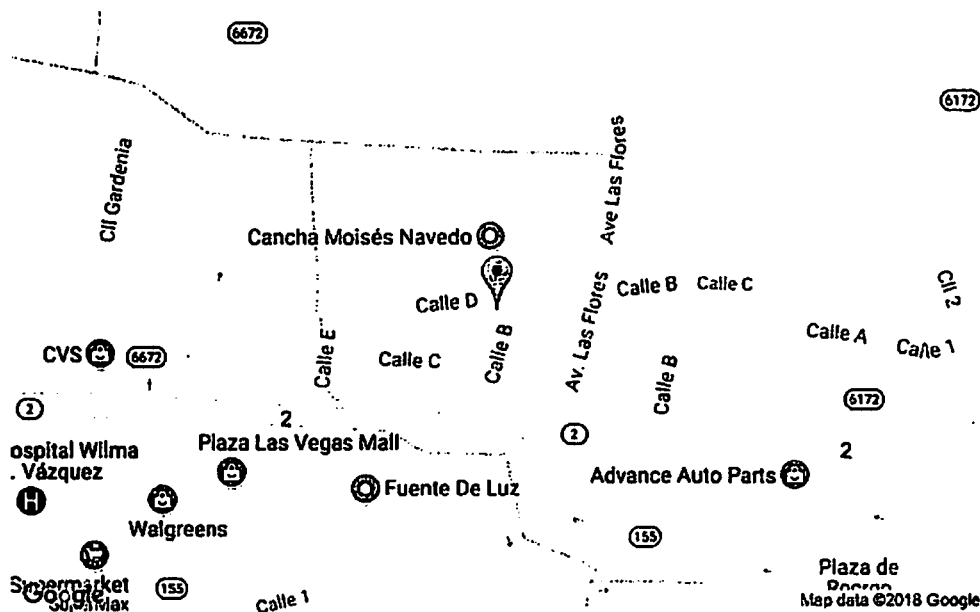
Address

Park Entrance





Park Location Map



Park Location Coordinates

Latitude: 18.4483 Longitude:  
-66.3926







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**PARK SAFETY & DAMAGE SUMMARY**

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Overall Park Damage  
Overall Usability  
Current Usage  
Immediate Hazards to Safety

Light (20%-40%)



## PARK AMENITIES

|  |                                     |
|--|-------------------------------------|
| Offices, Maintenance, or Storage Buildings | <input type="checkbox"/>            |
| Community Center Building                  | <input type="checkbox"/>            |
| Concession Stand(s)                        | <input type="checkbox"/>            |
| Restrooms (Stand Alone Buildings Only)     | <input type="checkbox"/>            |
| Rental Villas                              | <input type="checkbox"/>            |
| Parking Lot(s)                             | <input type="checkbox"/>            |
| Gazebos                                    | <input checked="" type="checkbox"/> |
| Rental Equipment                           | <input type="checkbox"/>            |
| Campgrounds or Picnic Areas                | <input type="checkbox"/>            |
| Beaches                                    | <input type="checkbox"/>            |
| Outdoor Lighting                           | <input type="checkbox"/>            |
| Baseball Field(s)                          | <input type="checkbox"/>            |
| Basketball Court(s)                        | <input checked="" type="checkbox"/> |
| Tennis Court(s)                            | <input type="checkbox"/>            |
| Soccer Field(s)                            | <input type="checkbox"/>            |
| Swimming Pool(s)                           | <input type="checkbox"/>            |
| Playground(s)                              | <input checked="" type="checkbox"/> |
| Track(s)                                   | <input type="checkbox"/>            |
| Pumping Station                            | <input type="checkbox"/>            |



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UTILITIES

---

|                             |     |
|-----------------------------|-----|
| Water Service Available     | N/A |
| Electric Service Available  | N/A |
| Sewer Service Available     | N/A |
| Septic Service Available    | N/A |
| Telephone Service Available | N/A |



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**FENCE DAMAGE**

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For fence damage at specific facilities such as baseball fields or tennis courts, add the fence damage on that facility page

Fence damage at the park: No

---

**PESTS**

---

Were any pests observed? No

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**VEGETATIVE DAMAGES**

---

Collect vegetative damage information for all areas of the park here.

Vegetative Debris Minor

Vegetative Debris on the Ground Including Yes

Stumps?

Leaning Trees? Yes

Hanging Branches?

Stumps in the Ground?

Vegetative Debris Comments:

4 person crew 1 week. Chipper 1 day. 5yd dumpster 1 week.

Do you need to collect photos? ☐

---

**DEBRIS ON GROUND**

---

Debris on Ground Debris 01



## Debris Photo



Location

Latitude: 18.4478 Longitude:  
-66.3922

Comments

Debris Type

Vegetative Debris

Length

Width

Height

Volume (cubic yards)

0.00

### NON-VEGETATIVE DEBRIS DAMAGE

Non-vegetative debris damage

None

### GAZEBOS

Gazebo

Gazebo 01

GAZEBO DAMAGE

## Gazebo



Location

 Latitude: 18.4475 Longitude:  
-66.3923

Roof Damage

No

Foundation Damage

No



---

|  |    |
|--|----|
| Is there a safety hazard at the gazebos? | No |
|--|----|

|          |
|----------|
| Comments |
|----------|

|                                       |
|---------------------------------------|
| Paint gazebo and wall-concrete 3000sf |
|---------------------------------------|

---

**BASKETBALL COURTS**

---

|                  |          |
|------------------|----------|
| Basketball Court | Court 01 |
|------------------|----------|

---

**BASKETBALL COURT DAMAGE**

---

|                         |     |
|-------------------------|-----|
| Basketball Court Damage | Yes |
|-------------------------|-----|

|          |
|----------|
| Comments |
|----------|

|  |
|--|
| Seal cracks and paint concrete court 110 by 60 |
|--|

|                             |
|-----------------------------|
| Replace 6ft concrete bench. |
|-----------------------------|

|                           |                              |
|---------------------------|------------------------------|
| Basketball Court Location | Latitude: 18.4481 Longitude: |
|---------------------------|------------------------------|

|          |
|----------|
| -66.3923 |
|----------|

|                         |       |
|-------------------------|-------|
| Damage to Court Surface | Minor |
|-------------------------|-------|

|                  |     |
|------------------|-----|
| Damaged Lighting | Yes |
|------------------|-----|

|                 |    |
|-----------------|----|
| Bleacher Damage | No |
|-----------------|----|

|              |    |
|--------------|----|
| Fence Damage | No |
|--------------|----|

|             |    |
|-------------|----|
| Roof Damage | No |
|-------------|----|

|                                   |    |
|-----------------------------------|----|
| Safety Hazard at Basketball Court | No |
|-----------------------------------|----|

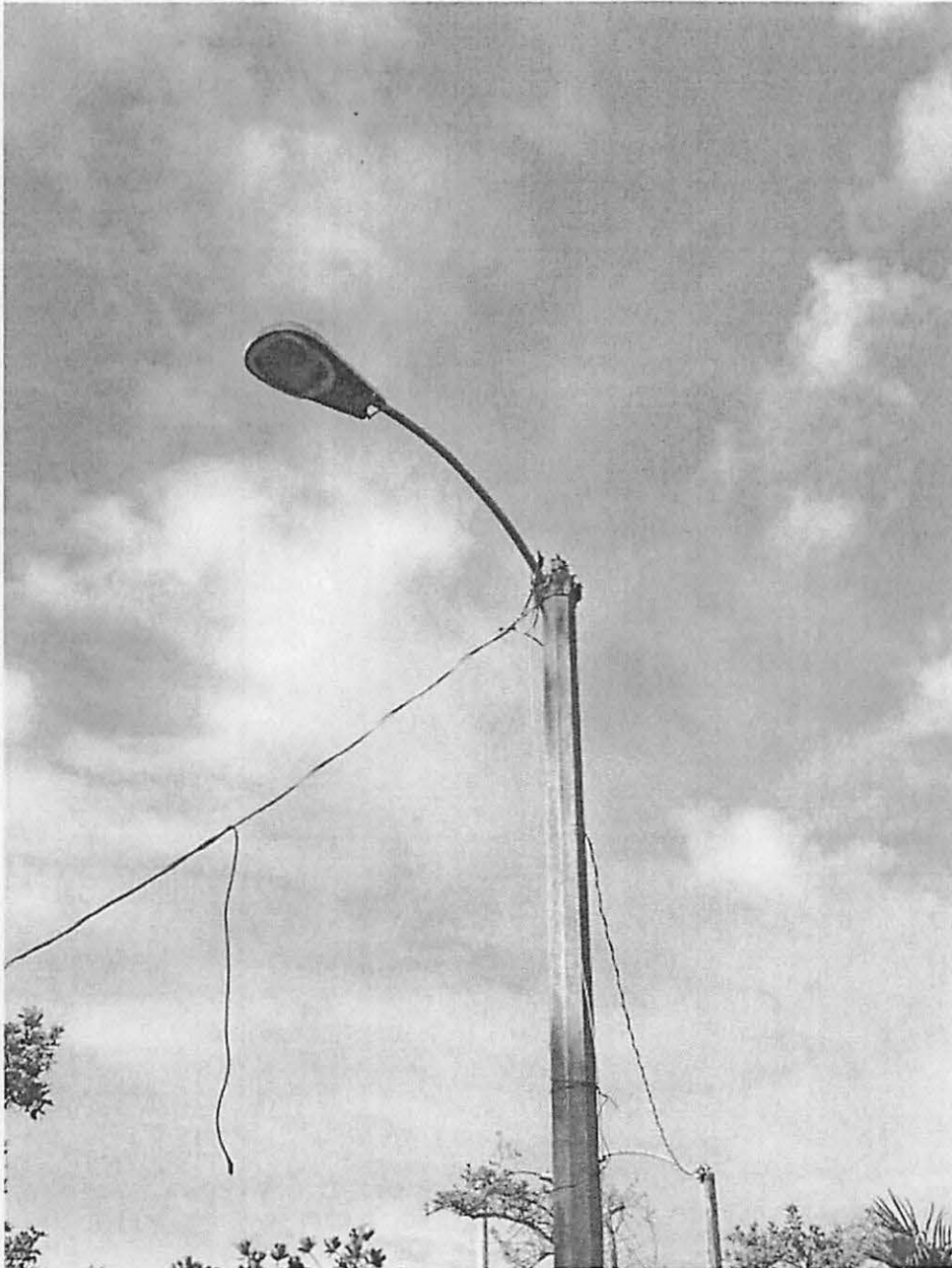
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**BASKETBALL COURT LIGHT**

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|                        |                           |
|------------------------|---------------------------|
| Basketball Court Light | Basketball Court Light 01 |
|------------------------|---------------------------|

Example of Damaged Lighting



Light Pole Material  
Light Pole Damage

Metal  
Damaged Bulbs  
Missing

Number of Damaged Poles of this Type

2





---

|  |   |
|--|---|
| Light Pole Height  | 1 |
| Number of Damaged Bulbs or Fixtures on all Poles                       | 6 |
| Comments   |   |
| Replace 2 20ft al poles and <del>60</del> <sup>6</sup> light fixtures. |   |
| Remove and replace 20lf of 4 ft sidewalk                               |   |
| Replace 48 by 60" alum sign.   |   |

## PLAYGROUNDS

---

Playground

Playground 01

## Playground Photograph



Playground Location

 Latitude: 18.4482 Longitude:  
 -66.3923

Fence Damage

No

Lighting Damage

No



Is there a safety hazard at the playground? No

Playground Comments

Playground is in working order and being used.

Do you need to collect photos of playground equipment besides fencing or lighting? M

## COMPLETION

Completion Date

06/08/2018

Completion Time

17:10

Signature



## Damage assessment Report

Facility Name:  
Monte Carlo

Coordinates:  
18.4478, -66.3926

FACILITY  
OWNER:  
Department of Sports and Recreation  
Government of Puerto Rico



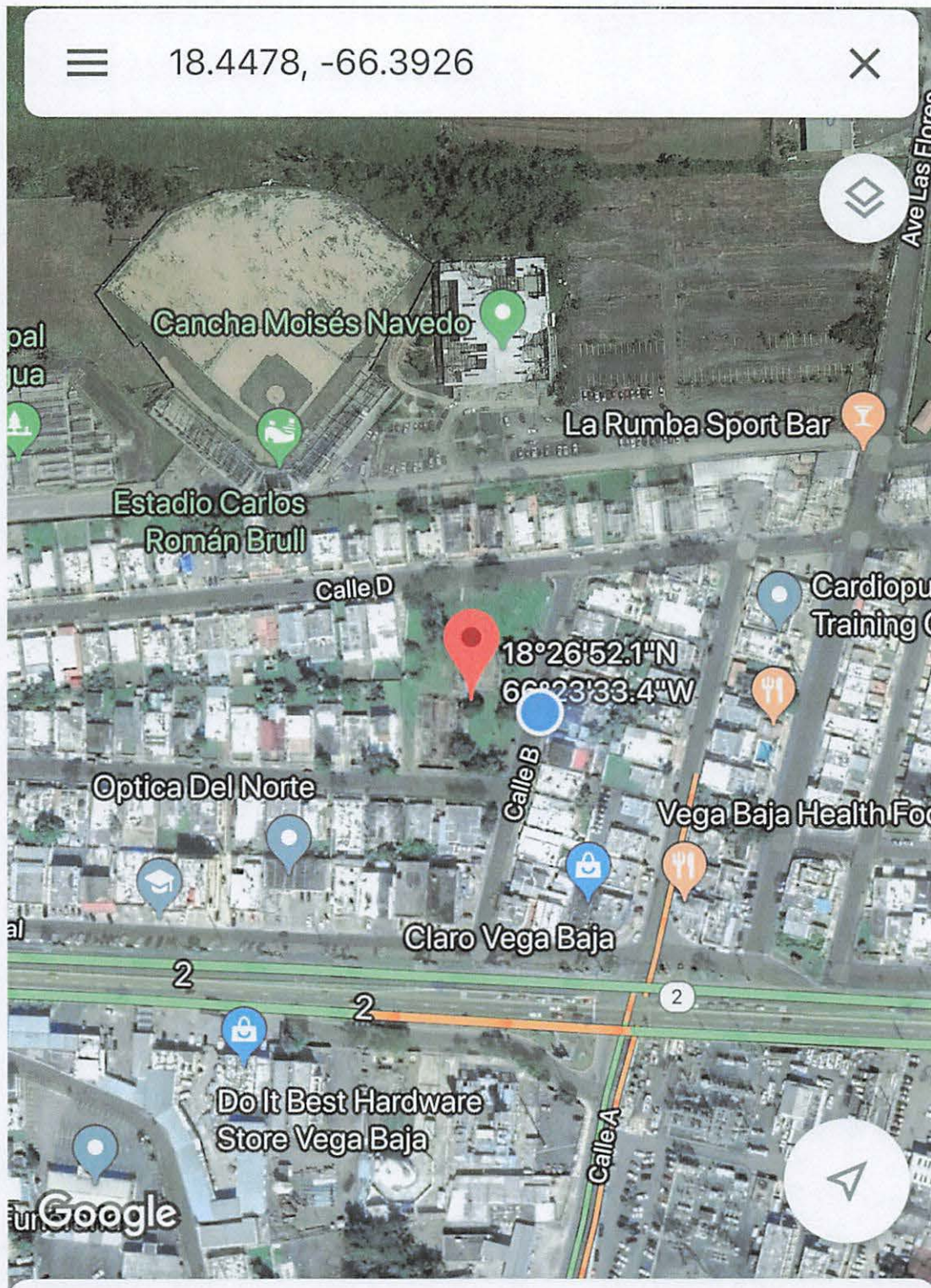
DATE OF VISIT:  
August 15, 2019

### Introduction

On August 15, 2019, a visit was made to the facilities of the Monte Carlo with recreational area, with the purpose of evaluating the damages caused by Hurricane Maria. Evaluations are limited to damage to facilities related to the disaster, including the ease of the field and the surroundings.

Location plan:





18°26'52.1"N 66°23'33.4"W

18.447800, -66.392600

**Cause of damage:**

On September 20, 2017, Hurricane María made landfall and caused damage to the island of Puerto Rico. Hurricane-force winds, wind-driven rains, floods, heavy rains and debris damaged the entire island of DRD facilities. The Monte Carlo recreational complex in GPS Lat: 18.4478 , Lon: -66.3926, with damage to the floor, ceiling, electrical system, beam and benches.

**Damaged Description and Dimensions:**

**Court area**

**Floor:**

Concrete floor (100 ft length x 70 ft width) with peeled paint, due to hurricane force winds.

Clean, prep and paint concrete floor.

Reference photo: 3

**Electrical system:**

Six (6) concrete pole (25 ft height x 8in diameter) contains six (6) low bay lights fixtures bent and no working, due to hurricane force winds. Remove and replace low bay.

Reference photo: 3 and 4

**Gazebo area**

**Ceiling:**

Concrete ceiling (60 ft length x 18 ft width) with peeled paint and water mark, due to hurricane force winds and wind driven rain. Clean, prep and paint concrete ceiling.

Reference photo: 1 and 5

**Beam:**

Twelve (12) concrete beam ( 8 ft height x 1 ft width)

with peeled paint, due to hurricane force winds and wind driven rain. Clean, prep and paint concrete beam.

Reference photo: 2

**Electrical system:**

Twelve (12) power outlets (4in diameter) with broken, due to hurricane force winds. Remove and replace power outlets.

Reference photo: 6

Ten (10) concrete pole (25 ft length x 8in diameter) contains ten (10) low bay lights fixtures missing and no working, due to hurricane force winds.

Remove and replace lights.

Reference photo: 7

**Benches:**



Forty (40) Concrete benches (3 ft length x 1 ft width x 1 ft height) with peeled paint, due to hurricane force winds. Clean, prep and paint concrete benches.  
Reference photo: 2

Photo facility damage:



photo 1





photo 2





photo 3





photo 4



photo 5





photo 6





photo 7



# ANEJO 2:

Ámbito de Trabajo de Proyectos en Fase 2





## **El Verde, Vega Baja Facility Damages Repair**

### ***Facility Damage – Metal Poles***

- 1) Remove and dispose of existing athletic metal pole.
- 2) Supply and install new athletic metal poles 40' height. (2 ea.)

### ***Facility Damage – Electricity Meter Concrete Panel Repair***

- 1) Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.

### ***Facility Damage – Chain Link Fence***

- 1) Remove and dispose existing damaged chain link fence.
- 2) Supply and install new 6' height chain link fence sections.
- 3) Galvanized steel chain link #9 gauge 2" mesh.
- 4) 2" diameter galvanized pipes.
- 5) Quantity 95 LF approximately.
- 6) Refer to standard drawings for chain link fence and gates details.

### ***Facility Damage – Concrete Benches***

- 1) Repair concrete benches: (3 ea.)
  - a. Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.
- 2) Paint existing bleachers. (3 ea.) See paint notes.





### ***Facility Damage – Vegetative Debris***

- 1) Remove approximately 40 CY of vegetative debris.
- 2) Remove tree stump. One (1) ea.

### ***Facility Damage – Basketball Court***

- 1) Remove existing basketball court markings. See Multisport Court Technical Specifications.
  - a. Apply a paint stripper.
  - b. Scrape away the paint.
  - c. Rinse the concrete with pressure washer.
- 2) Remove existing goal boards and replace with new acrylic ones.
- 3) Paint multisport court markings, poles, and goals. See Multisport Court Technical Specifications.
- 4) Paint metal poles up to 10' height.
- 5) Paint volleyball net posts.
- 6) See paint in general specifications.
- 7) Color to be selected by owner.
- 8) See paint notes.

### ***Facility Damage – Bleachers***

- 1) Repair concrete bleacher sections:
  - a. Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.
- 2) Paint existing bleachers. See paint notes.
- 3) Supply and install new 2" diameter steel handrails on the laterals and rear of bleachers. Include footings. Meet the standard height. See details.
- 4) Construct new metal roof structure for the bleachers area. Approximately 410 SF.





### ***Facility Damage – Concrete Gazebo***

- 1) Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Pressure wash cleaning of existing concrete roof.
- 5) Installation of new water proofing system. 138 SF approximately. Equal or similar to Danosa Richport modified. Contractor shall provide 5 YR warranty. Installation of product must be as recommended by the manufacturer.

### ***Facility Damage – Playground Equipment***

- 1) Remove and dispose existing damaged playground equipment. (See reference)
- 2) Supply and install new 10' freestanding metal slide:
  - a. Stainless steel bed way, 18 gauge, secured to a 4" deep "D" shaped side rails.
  - b. Safety platform of 22" x 22" square, 14-gauge galvanized steel.
  - c. Handrails of 1.315" O.D. galvanized steel.
  - d. Meets ASTM and CPC guidelines.
- 3) Supply and install new four (4) seat seesaw:
  - a. Pipe Arm: 5" diameter, galvanized pipe, powder coated paint finish.
  - b. Handles / Footrests: Formed from 1- 1/4" galvanized pipe, powder coated.
  - c. Seats: Molded polyethylene.
  - d. Hardware / Nuts and Bolts: Stainless steel.
  - e. Unit size 10' L x 8' W x 1.5' H.
  - f. Safety area 22' L x 20' W.
  - g. Age range: 3-12 years.
  - h. Kids Capacity: 4 kids.
  - i. Concrete Pedestal: 12" x 12" X 18".
  - j. Weight: 220 lbs.
  - k. ADA Compliant.
- 4) Supply and install new swing set:
  - a. Basic Commercial Belt Swing Seat with 8'6" Plastisol Chain.
  - b. Swing Seat is 6" x 24" EPDM rubber.
  - c. High carbon steel spring inserts for strength and vandal resistance.
  - d. Sturdy galvanized triangle hardware riveted to seat.
  - e. Chain is 8'6" (102") in length and is partially plastisol coated for 30".





- f. Recommended chain length for swing beams that are 10-12 ft tall.
- g. Chain comes assembled to swing with commercially rated S-Hooks.
- 3) Equal or similar to Playset Parts product.
- 4) Construction of three (3) 10' long x 10' wide x 5" thickness concrete slabs using 3,000 psi concrete with 6' long x 3' wide x 5" thickness access sidewalks.
- 5) Supply and installation of six (6) new outdoor gym equipment machines.
  - a. Galvanized steel (color powder coated).
  - b. Step and stair: PVC coated.
  - c. Plastic Parts: UV resistance LLDPE.
  - d. Post, metal parts: Galvanized steel pipe.
  - e. Decks, Stairs: LLDPE (PVC coated).

#### ***Facility Damage – Walking Trail***

- 1) Construct new 5' wide walking trail.
- 2) Clearing and grubbing of soil, 5' wide, 288' length and 10" deep.
- 3) Fill and spread with new A-2-4 soil to be compacted to 95%.
- 4) Installation of new type IV asphalt 1.5" thickness.

#### ***Facility Damage – Concrete Sidewalk***

- 1) Demolition and disposal of existing concrete sidewalk section. Approximately five (5) CY.
- 2) New 5 FT wide sidewalk, approximately 265 SF, to match existing. Cut control joints every 5 FT.
- 3) Pressure wash cleaning of existing sidewalks. Approximately 1,225 SF.
- 4) Thin set concrete resurfacing of existing sidewalks. Equal or similar to NewCrete concrete Resurfacer by Rapid Set. Approximately 1,225 SF.

#### ***Facility Damage – Outdoor Gym***

- 1) Construction of three (3) 10' long x 10' wide x 5" thickness concrete slabs using 3,000 psi concrete with 6' long x 3' wide x 5" thickness access sidewalks.
- 2) Supply and installation of six (6) new outdoor gym equipment machines.





- a. Galvanized steel (color powder coated).
  - b. Step and stair: PVC coated.
  - c. Plastic Parts: UV resistance LLDPE.
  - d. Post, metal parts: Galvanized steel pipe.
  - e. Decks, Stairs: LLDPE (PVC coated).
  - f. Bolts, Nuts: Stainless steel 304.
- 3) Supply and installation of three (3) new precast concrete benches.
- a. 72" L x 20" W x 18" H.
  - b. Precast concrete park bench made of Portland Cement (ASTM C150, all aggregates meet ASTM C33) reinforced with 3/8" diameter steel rebar.

#### ***Facility Damage – Paint***

- 1) Paint all existing structures. (Bleachers, benches, steel structures, concrete structures, buildings, basketball court, etc., where occur).
- 2) Clean and patch all existing concrete surfaces. See paint notes.
- 3) Flooring: Apply anti-slip floor coating designed for heavy pedestrian traffic.
- 4) Product Description:
  - a. Floors: Equal or similar to American Safety Technologies AS-150 HAPS Free Anti-Slip Coating.
  - b. Steel Structures: Equal or similar to Sherwin Williams Pro Industrial DTM Acrylic Primer/Finish. Apply one coat of primer and two (2) coats of paint.
  - c. Exterior Wall Paint: Equal or similar to Sherwin-Williams Quick Dry Interior/Exterior Stain Blocking Primer. Apply one coat of primer. Apply two (2) coats of paint. A-100 exterior acrylic latex.
  - d. Interior Wall Paint: Equal or similar to Sherwin-Williams Moisture Vapor Barrier Interior Latex primer/sealer. Apply one coat of primer and two (2) coats of paint. Promar 400 Zero VOC Interior Latex Primer.
  - e. All exterior concrete structure or item must be painted with exterior paint.
  - f. See paint notes.
- 5) Patch and finish the affected area with Vinyl Concrete Patch.





## **SOW ELECTRICAL WORK**

### ***Facility Damage – Metal Poles***

- 1) Supply and install new metal pole luminaires. Four (4 ea.) Equal or similar to model HL-SP06-500W by LED Sports Light. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by manufacturer.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: AC100 to 277V
  - d. Lumens: 75,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.

### ***Facility Damage – Roof Structure***

- 1) Supply and install new interior luminaires. Ten (10 ea.) Equal or similar to model ValueLED UFO 2A High Bay by Sylvania luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by manufacturer.
  - a. LED interior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 34,560 lm
  - e. Fixture Rated Life: 150,000 hr. Five (5) year warranty.
- 2) Supply and install new exterior lighting fixtures. Ten (10) ea. Equal or similar to model ValueLED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by manufacturer.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.





### ***Facility Damage – Concrete Gazebo***

- 1) Supply and install new exterior lighting fixtures. One (1) ea. Equal or similar to model ValueLED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by manufacturer.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.

### **Buy American Act Requirements:**

Buy American requirements apply to purchases of iron, steel, and other manufactured products permanently incorporated into infrastructure projects. To be considered as being produced in the U.S., goods must be manufactured in the U.S. and at least 50% of the cost of their components must come from the U.S.

### **Additional Notes:**

- 1) The contractor is responsible to verify the existing electrical system conditions and shall repair any damage found and leave the project fully operational, properly grounded, coordinated with all the other trades and with all the required equipment, interconnections, fittings, and appurtenances necessary for the safe operation of his intended use.
- 2) All the electrical installation shall be done in a neat and workmanlike manner, according to the latest edition of the National Electrical Code (N.E.C.), the Puerto Rico Electric Power Authority (LUMA) latest standards and the Negociado de Telecomunicaciones de Puerto Rico latest practices.
- 3) The contractor shall visit the job site and become acquainted with the existing field conditions.





- 4) The contractor shall submit with the proposal, the proposed Synthetic Acrylic System specifications with the warranty terms and conditions. The system must be equal or similar to the specified and shall comply with a minimum of minimum five (5) year warranty, excluding damages by improper use and wear due to normal use.
- 5) The contractor is responsible to comply with all laws, regulations, codes, professional licenses required by Municipal, State, Federal and Local laws.
- 6) To all existing concrete surface (where occur) - All spalling concrete must be repaired. Chip the existing loose concrete and treat the exposed rebar. Clean with a steel brush and apply (equal or similar) Loctite Extend Rust Neutralizer, apply (equal or similar) Sika Armatec – 110 EpoCem and then patch and finish the affected area with Vinyl Concrete Patch. For all product, follow the manufacturer mixing and application recommendations.
- 7) All basketball court marking paint must be Multisport Court (Basketball and Volleyball) as specified. Where volleyball pole system is missing, the contractor must include the new volleyball net pole system as per specifications.





## **Jardines de Vega Baja, Vega Baja Facility Damages Repair**

### ***Facility Damage – Bleachers***

- 1) Repair concrete bleacher sections:
  - a. Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.
- 2) Paint existing bleachers. See paint notes.
- 3) Dimensions: 10' w x 43' l x 80" h. One (1) ea.
- 4) Construct new metal roof structure for the bleachers area. Approximately 799 SF.
- 5) Install new gutters (47 LF) and downspouts (35 LF).
- 6) Install edge trim 81 LF.
- 7) Supply and install new steel handrails. See details. (63 LF).







### ***Facility Damage – Dugouts***

- 1) Spalling Concrete Repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Thin set concrete resurfacing of existing dugout floors. Equal or similar to NewCrete concrete Resurfacer by Rapid Set.
- 5) 6' w x 20' l. Two (2) ea.







### ***Facility Damage – Canteen***

- 1) Spalling Concrete Repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) 15' w x 17' l.
- 5) Pressure wash cleaning of existing concrete roof and interior of restrooms. Approximately 255 SF.
- 6) Installation of new waterproofing system. 357 SF approximately. Equal or similar to Danosa Richport modified. The contractor shall provide a 5 YR warranty. Installation of product must be as recommended by the manufacturer.







### ***Facility Damage – Restrooms Structure***

- 1) Spalling Concrete Repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) 14' w x 11' l.
- 5) Pressure wash cleaning of existing concrete roof.
- 6) Installation of new waterproofing system. 154 SF approximately. Equal or similar to Danosa Richport modified. The contractor shall provide a 5 YR warranty. Installation of product must be as recommended by the manufacturer.
- 7) Remove and dispose of all restroom equipment: two (2) toilets, two (2) lavatories, one (1) urinal, toilet partitions, and accessories.
- 8) Repair existing concrete wall plaster finish with the application of new wall finish product as manufactured by Master (equal or similar), used to renovate walls and ceilings.
- 9) Supply and install new ADA complaint restroom equipment and accessories. Include all fittings, valve, p-trap, tail piece, etc.
- 10) Clean and paint existing flooring with anti-slip coating. Refer to the Paint scope section for details.
- 11) Remove, dispose, and replace toilet fixture. Include toilet seats, fittings, and valve. Ensure the fixture fits in the existing sanitary connection.
- 12) Material Description:(where occur or required):
  - a. Lavatory: Wall-mounted. Vitreous China, white, 20-½ in x 18-¼ in with 4 in center faucet holes, front overflow, D-shaped bowl. Two (2) lavatories are needed.
  - b. Faucets: Conventional widespread, 0.5 GPM pressure compensating, vandal-resistant multi-laminar spray. Factory set for a maximum of 0.08 gallons per cycle. Two (2) faucets are needed.
  - c. Toilet Paper Dispenser: Surface-mounted, multi-roll, stainless steel, satin finish, 6-1/16" W x 11" H x 5-15/16" D. Holds two rolls up to 5-¼" in diameter. Theft-resistant, heavy-duty spindles. Two (2) toilet paper dispensers are needed.
  - d. Floor: Refer to paint scope section for details.
  - e. Toilets: Single flush. Flush volume is 1.1 GPF to 1.6 GPF. Outfitted with a 2-1/8 in. fully glazed trap way, elongated toilet seat, Water Sense, Dimensions 16.5 in. H, 14 in. W, 28.25 in. D. Two (2) toilets are needed.





- f. Urinals: Low consumption, 1.0 gallon per flush (1.0 gpf/3.8 Lpf). Siphon jet flush action. Extended sides for privacy, vitreous china. One (1) urinal is needed.
- 13) Product Reference: (where occur or required):
- a. Lavatory: Equal or similar to American Standard, Lucerne Wall Hung Lavatory Model 0355.012.
  - b. Faucets: Equal or similar to American Standard Metering Faucet Model 1340.827.
  - c. Toilet Paper Dispenser: Equal or similar to Bobrick Model B-2888 Classic Series.
  - d. Floor: Refer to paint scope section for details.
  - e. Toilet Partitions: Equal or similar to Sherwin Williams Pro-Industrial Pre-Catalyzed water-based epoxy.
  - f. Toilets: Similar or equal to American Standard model 2854.128 or Madera Chair Height Ever Clean Toilet System with Manual Piston Flush Valve, 1.28gpf/4.8 Lpf.
  - g. Urinals: Similar or equal to American Standard model 6561.017, Trimbrooks







### ***Facility Damage - Chain Link Fences***

- 1) Remove and dispose of existing damaged 4' high chain link fence in the outfield area. 214 LF.
- 2) Supply and install new 4' high chain link fence in the outfield area. 214 LF.
- 3) Remove and dispose of existing damaged 6' high chain link fence:
  - a. From the parking lot to where the 4' high chain link fence starts: 230 LF.
  - b. From where the 4' high chain link fence ends to the end of the outfield semicircle in the left field: 220 LF.
  - c. Remove and dispose of existing damaged single swing gate in the outfield area. 16 LF.
  - d. Remove and dispose of existing damaged double swing gate next to the restrooms structure. 12 LF.
  - e. Total of 478 LF.
- 4) Supply and install new 6' high chain link fence sections:
  - a. From the parking lot to where the 4' high chain link fence starts: 230 LF.
  - b. From where the 4' high chain link fence ends to the end of the outfield semicircle in the left field: 220 LF.
  - c. Supply and install new double swing gate in the outfield area. 16 LF.
  - d. Supply and install new double swing gate next to the restrooms structure. 12 LF.
  - e. In front of the dugouts: 190 LF.
  - f. Total of 668 LF.
- 5) Remove and dispose of existing damaged 10' high chain link fence:
  - a. Making up the backstop. 55 LF.
- 6) Supply and install new 10' high chain link fence:
  - a. Making up the backstop. 55 LF.
  - b. In front of the dugouts. 120 LF.
- 7) Supply and install new 16' high chain link fence in front of bleachers. 43 LF.
- 8) Paint backstop pipes. Use metallic aluminum color oil base paint. See paint notes.
- 9) Refer to standard drawings for chain link fence and gates details.
- 10) Supply and install a new fence topper all along the perimeter of the outfield fence, and the fences in front of the dugouts. Equal or similar to model 01160 Poly-Cap by Baseball Fence Toppers. Approximately 824 LF.









#### **Facility Damage – Concrete Sidewalk**

- 1) Construction of new concrete sidewalk section of 3 FT and 5FT wide for a total of 1,050 SF. See detail.



***Facility Damage - Vegetative and Non-Vegetative Debris***

- 1) Remove approximately 3 CY of vegetative debris.
- 2) Remove tree along the chain link fence in the outfield area. One (1) ea.









### **Baseball Field - Field Work**

- 1) The contractor is responsible for the repair of the existing damaged infield.
  - Remove all grown sod inside the infield area and apply an industrial herbicide to prevent future grow.
  - Rake the area and remove all debris.
  - To repair the infield surface, use a mix equal to 55 percent sand, 30 percent clay, and 15 percent silt covering material.
  - Prepare the lawn area as recommended by the guide provided.
  - Follow the guide provided. (Where apply)
  - Install baseball bases set.





### ***Facility Damage - Basketball Court Roof Structure***

- 1) Remove, supply and repair by replacement of metal roof panels 36" x 32' in length. Eight (8) ea.
- 2) Repair damaged roof net. Approximately 7,700 SF.
- 3) Remove, supply and repair by replacement of trims. 180 LF.
- 4) Remove, supply and repair by replacement of gutters. 220 LF.
- 5) Remove, supply and repair by replacement of downspouts. 22 LF. 12 ea.
- 6) Remove, supply and repair by replacement of existing Type Z-10, purlins. 140 LF.
- 7) Remove, supply and repair by replacement of metal ridge panels 110' l x 10' w.
- 8) Paint all columns from the base to the roof siding's edge.
- 9) See paint notes.







### ***Facility Damage - Basketball Court***

- 1) Remove existing basketball court markings. See Multisport Court Technical Specifications.
  - a. Apply a paint stripper.
  - b. Scrape away the paint.
  - c. Rinse the concrete with a pressure washer.
- 2) Supply and install new acrylic basketball goal boards. (2 ea.)
- 3) Supply and install new Volleyball Ground Sleeves Kits, equal to or similar to Jaypro PVB-75S. (2ea.)
- 4) Paint multisport court markings, volleyball net poles, and goal poles. See Multisport Court Technical Specifications.
- 5) See paint in general specifications.
- 6) Color to be selected by owner.
- 7) See paint notes.
- 8) Dimensions: 70' w x 110' l.







### ***Paint General Specifications***

- 1) Paint all existing structures. (Galvanized steel tube fence, bleachers, benches, steel structures, concrete structures, buildings, restrooms, canteen, basketball court, etc., where occur).
- 2) Clean and patch all existing concrete surfaces. See paint notes.
- 3) Flooring: Apply anti-slip floor coating designed for heavy pedestrian traffic.
- 4) Restrooms walls: Clean and patch existing surface. Apply one (1) coat of primer and two (2) coats of water-based epoxy paint.
- 5) Product Description:
  - a. Floors: Similar or equal to American Safety Technologies AS-150 HAPS Free Anti-Slip Coating.
  - b. Toilet Partitions: Equal or similar to Sherwin Williams Pro Industrial Pre-catalyzed water-based epoxy.
  - c. Steel Structures: Equal or similar to Sherwin Williams Pro Industrial DTM Acrylic Primer/Finish. Apply one coat of primer and two (2) coats of paint.
  - d. Exterior Wall Paint: Equal or similar to Sherwin-Williams Quick Dry Interior/Exterior Stain Blocking Primer. Apply one coat of primer. Apply two (2) coats of paint. A-100 exterior acrylic latex.
  - e. Interior Wall Paint: Equal or similar to Sherwin-Williams Moisture Vapor Barrier Interior Latex primer/sealer. Apply one coat of primer and two (2) coats of paint. Promar 400 Zero VOC Interior Latex Primer.
  - f. All exterior concrete structure or item must be painted with exterior paint.
  - g. See paint notes.
- 6) Patch and finish the affected area with Vinyl Concrete Patch.









## **Jardines de Vega Baja, Vega Baja Facility Damages Repair**

### ***Facility Damage – Bleachers***

- 1) Repair concrete bleacher sections:
  - a. Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.
- 2) Paint existing bleachers. See paint notes.
- 3) Dimensions: 10' w x 43' l x 80" h. One (1) ea.
- 4) Construct new metal roof structure for the bleachers area. Approximately 799 SF.
- 5) Install new gutters (47 LF) and downspouts (35 LF).
- 6) Install edge trim 81 LF.
- 7) Supply and install new steel handrails. See details. (63 LF).







### ***Facility Damage – Dugouts***

- 1) Spalling Concrete Repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Thin set concrete resurfacing of existing dugout floors. Equal or similar to NewCrete concrete Resurfacer by Rapid Set.
- 5) 6' w x 20' l. Two (2) ea.







### ***Facility Damage – Canteen***

- 1) Spalling Concrete Repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) 15' w x 17' l.
- 5) Pressure wash cleaning of existing concrete roof and interior of restrooms. Approximately 255 SF.
- 6) Installation of new waterproofing system. 357 SF approximately. Equal or similar to Danosa Richport modified. The contractor shall provide a 5 YR warranty. Installation of product must be as recommended by the manufacturer.







### ***Facility Damage – Restrooms Structure***

- 1) Spalling Concrete Repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) 14' w x 11' l.
- 5) Pressure wash cleaning of existing concrete roof.
- 6) Installation of new waterproofing system. 154 SF approximately. Equal or similar to Danosa Richport modified. The contractor shall provide a 5 YR warranty. Installation of product must be as recommended by the manufacturer.
- 7) Remove and dispose of all restroom equipment: two (2) toilets, two (2) lavatories, one (1) urinal, toilet partitions, and accessories.
- 8) Repair existing concrete wall plaster finish with the application of new wall finish product as manufactured by Master (equal or similar), used to renovate walls and ceilings.
- 9) Supply and install new ADA complaint restroom equipment and accessories. Include all fittings, valve, p-trap, tail piece, etc.
- 10) Clean and paint existing flooring with anti-slip coating. Refer to the Paint scope section for details.
- 11) Remove, dispose, and replace toilet fixture. Include toilet seats, fittings, and valve. Ensure the fixture fits in the existing sanitary connection.
- 12) Material Description: (where occur or required):
  - a. Lavatory: Wall-mounted. Vitreous China, white, 20-½ in x 18-¼ in with 4 in center faucet holes, front overflow, D-shaped bowl. Two (2) lavatories are needed.
  - b. Faucets: Conventional widespread, 0.5 GPM pressure compensating, vandal-resistant multi-laminar spray. Factory set for a maximum of 0.08 gallons per cycle. Two (2) faucets are needed.
  - c. Toilet Paper Dispenser: Surface-mounted, multi-roll, stainless steel, satin finish, 6-1/16" W x 11" H x 5-15/16" D. Holds two rolls up to 5-¼" in diameter. Theft-resistant, heavy-duty spindles. Two (2) toilet paper dispensers are needed.
  - d. Floor: Refer to paint scope section for details.
  - e. Toilets: Single flush. Flush volume is 1.1 GPF to 1.6 GPF. Outfitted with a 2-1/8 in. fully glazed trap way, elongated toilet seat, Water Sense, Dimensions 16.5 in. H, 14 in. W, 28.25 in. D. Two (2) toilets are needed.





- f. Urinals: Low consumption, 1.0 gallon per flush (1.0 gpf/3.8 Lpf). Siphon jet flush action. Extended sides for privacy, vitreous china. One (1) urinal is needed.
- 13) Product Reference: (where occur or required):
- a. Lavatory: Equal or similar to American Standard, Lucerne Wall Hung Lavatory Model 0355.012.
  - b. Faucets: Equal or similar to American Standard Metering Faucet Model 1340.827.
  - c. Toilet Paper Dispenser: Equal or similar to Bobrick Model B-2888 Classic Series.
  - d. Floor: Refer to paint scope section for details.
  - e. Toilet Partitions: Equal or similar to Sherwin Williams Pro-Industrial Pre-Catalyzed water-based epoxy.
  - f. Toilets: Similar or equal to American Standard model 2854.128 or Madera Chair Height Ever Clean Toilet System with Manual Piston Flush Valve, 1.28gpf/4.8 Lpf.
  - g. Urinals: Similar or equal to American Standard model 6561.017, Trimbrooks







### ***Facility Damage - Chain Link Fences***

- 1) Remove and dispose of existing damaged 4' high chain link fence in the outfield area. 214 LF.
- 2) Supply and install new 4' high chain link fence in the outfield area. 214 LF.
- 3) Remove and dispose of existing damaged 6' high chain link fence:
  - a. From the parking lot to where the 4' high chain link fence starts: 230 LF.
  - b. From where the 4' high chain link fence ends to the end of the outfield semicircle in the left field: 220 LF.
  - c. Remove and dispose of existing damaged single swing gate in the outfield area. 16 LF.
  - d. Remove and dispose of existing damaged double swing gate next to the restrooms structure. 12 LF.
  - e. Total of 478 LF.
- 4) Supply and install new 6' high chain link fence sections:
  - a. From the parking lot to where the 4' high chain link fence starts: 230 LF.
  - b. From where the 4' high chain link fence ends to the end of the outfield semicircle in the left field: 220 LF.
  - c. Supply and install new double swing gate in the outfield area. 16 LF.
  - d. Supply and install new double swing gate next to the restrooms structure. 12 LF.
  - e. In front of the dugouts: 190 LF.
  - f. Total of 668 LF.
- 5) Remove and dispose of existing damaged 10' high chain link fence:
  - a. Making up the backstop. 55 LF.
- 6) Supply and install new 10' high chain link fence:
  - a. Making up the backstop. 55 LF.
  - b. In front of the dugouts. 120 LF.
- 7) Supply and install new 16' high chain link fence in front of bleachers. 43 LF.
- 8) Paint backstop pipes. Use metallic aluminum color oil base paint. See paint notes.
- 9) Refer to standard drawings for chain link fence and gates details.
- 10) Supply and install a new fence topper all along the perimeter of the outfield fence, and the fences in front of the dugouts. Equal or similar to model 01160 Poly-Cap by Baseball Fence Toppers. Approximately 824 LF.









### **Facility Damage – Concrete Sidewalk**

- 1) Construction of new concrete sidewalk section of 3 FT and 5FT wide for a total of 1,050 SF. See detail.



***Facility Damage - Vegetative and Non-Vegetative Debris***

- 1) Remove approximately 3 CY of vegetative debris.
- 2) Remove tree along the chain link fence in the outfield area. One (1) ea.









### **Baseball Field - Field Work**

- 1) The contractor is responsible for the repair of the existing damaged infield.
  - Remove all grown sod inside the infield area and apply an industrial herbicide to prevent future grow.
  - Rake the area and remove all debris.
  - To repair the infield surface, use a mix equal to 55 percent sand, 30 percent clay, and 15 percent silt covering material.
  - Prepare the lawn area as recommended by the guide provided.
  - Follow the guide provided. (Where apply)
  - Install baseball bases set.







### ***Facility Damage - Basketball Court Roof Structure***

- 1) Remove, supply and repair by replacement of metal roof panels 36" x 32' in length. Eight (8) ea.
- 2) Repair damaged roof net. Approximately 7,700 SF.
- 3) Remove, supply and repair by replacement of trims. 180 LF.
- 4) Remove, supply and repair by replacement of gutters. 220 LF.
- 5) Remove, supply and repair by replacement of downspouts. 22 LF. 12 ea.
- 6) Remove, supply and repair by replacement of existing Type Z-10, purlins. 140 LF.
- 7) Remove, supply and repair by replacement of metal ridge panels 110' l x 10' w.
- 8) Paint all columns from the base to the roof siding's edge.
- 9) See paint notes.







### ***Facility Damage - Basketball Court***

- 1) Remove existing basketball court markings. See Multisport Court Technical Specifications.
  - a. Apply a paint stripper.
  - b. Scrape away the paint.
  - c. Rinse the concrete with a pressure washer.
- 2) Supply and install new acrylic basketball goal boards. (2 ea.)
- 3) Supply and install new Volleyball Ground Sleeves Kits, equal to or similar to Jaypro PVB-75S. (2ea.)
- 4) Paint multisport court markings, volleyball net poles, and goal poles. See Multisport Court Technical Specifications.
- 5) See paint in general specifications.
- 6) Color to be selected by owner.
- 7) See paint notes.
- 8) Dimensions: 70' w x 110' l.







### ***Paint General Specifications***

- 1) Paint all existing structures. (Galvanized steel tube fence, bleachers, benches, steel structures, concrete structures, buildings, restrooms, canteen, basketball court, etc., where occur).
- 2) Clean and patch all existing concrete surfaces. See paint notes.
- 3) Flooring: Apply anti-slip floor coating designed for heavy pedestrian traffic.
- 4) Restrooms walls: Clean and patch existing surface. Apply one (1) coat of primer and two (2) coats of water-based epoxy paint.
- 5) Product Description:
  - a. Floors: Similar or equal to American Safety Technologies AS-150 HAPS Free Anti-Slip Coating.
  - b. Toilet Partitions: Equal or similar to Sherwin Williams Pro Industrial Pre-catalyzed water-based epoxy.
  - c. Steel Structures: Equal or similar to Sherwin Williams Pro Industrial DTM Acrylic Primer/Finish. Apply one coat of primer and two (2) coats of paint.
  - d. Exterior Wall Paint: Equal or similar to Sherwin-Williams Quick Dry Interior/Exterior Stain Blocking Primer. Apply one coat of primer. Apply two (2) coats of paint. A-100 exterior acrylic latex.
  - e. Interior Wall Paint: Equal or similar to Sherwin-Williams Moisture Vapor Barrier Interior Latex primer/sealer. Apply one coat of primer and two (2) coats of paint. Promar 400 Zero VOC Interior Latex Primer.
  - f. All exterior concrete structure or item must be painted with exterior paint.
  - g. See paint notes.
- 6) Patch and finish the affected area with Vinyl Concrete Patch.









### **SOW ELECTRICAL WORK**

#### ***Facility Damage – Electricity Meters***

##### ***Field***

- 1) Install new meter base with concrete pedestal.
- 2) Supply and replace existing 120v/240V, 200 Amp, 1ph Nema 3R. Disconnect switch.
- 3) Install New Distribution Panel.
- 4) New 3#4 THHN underground electrical line. (1000 LF Aprox.)





### ***Facility Damage – Roof Structure***

- 1) Supply and install new interior luminaires. 12 ea. Equal or similar to model ValueLED UFO 2A High Bay by Sylvania luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer.
  - a. LED interior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V

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- d. Lumens: 34,560 lm
  - e. Fixture Rated Life: 150,000 hr. Five (5) year warranty.
- 2) Supply and install new exterior lighting fixtures. Three (3) ea. Two of them on the west side and one of them on the south side of the siding panel's exterior. Equal or similar to model ValueLED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer.
- a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.



### ***Facility Damage – Canteen***

- 1) Removal and disposal of existing damaged wraparound indoor lighting fixtures and supply and install new weatherproof lighting fixture sets. Equal or similar to model CSVT Vapor Tight LED Strip Light by Lithonia Lighting. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. Two (2) ea.
- a. LED Weatherproof Luminaire.
  - b. Color Temp of 4000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 4,946 lm





- e. Fixture Rated Life: Five (5) year warranty.
- 2) Remove, supply and repair by replacement of existing weatherproof receptacles, equal or similar to Duplex Convenience Receptacle. Two (2) ea.
  - a. 15A / 125V grounding type surface mounted GFI (Ground Fault Interrupter).
  - b. Include weatherproof boxes and covers.



#### ***Facility Damage – Restrooms***

- 1) Removal and disposal of existing damaged wraparound indoor lighting fixtures and supply and install new weatherproof lighting fixture sets for interior of restrooms. Equal or similar to model CSVT Vapor Tight LED Strip Light by Lithonia Lighting. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. Two (2) ea.
  - a. LED Weatherproof Luminaire.
  - b. Color Temp of 4000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 4,946 lm
  - e. Fixture Rated Life: Five (5) year warranty.





#### ***Facility Damage - Baseball Field***

- 1) Remove and dispose of existing damaged baseball field poles. Three (3) ea.
- 2) Supply and repair by replacement of new baseball field poles. Eight (8) ea.
- 3) Remove, supply and repair by replacement of new weatherproof baseball field lighting fixture sets. Equal or similar to model TLC-LED-1200 by MUSCO. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. The contractor must provide photometric design. [Four (4) each per pole]. Total of 32 ea.
  - a. LED Weatherproof Luminaire
  - b. Color Temp of 5700k
  - c. Fixture Voltage: 277 to 480V
  - d. Watts: 575 to 1,200W
  - e. Lumens: 52,000 to 150,000 lm
  - f. Fixture Rated Life: Ten (10) year warranty.
- 4) Install new pole wiring system 3#4 THHN. (400 LF)
- 5) Supply and install new pole pads in baseball field poles. Eight (8) ea.







### **Facility Damage – Concrete Bleachers**

1) Supply and install new florescent lighting fixture with new LED lighting fixtures equal or similar to CNY LED Canopy Lighting by Lithonia Lighting. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. Three (3) ea.

- a. LED Interior/Exterior Luminaire.
- b. Color Temp of 4000k.
- c. Fixture Voltage: 120 to 277VS
- d. LED replacement for: Up to 250W MH
- e. Lumens: 6,600 lm
- f. Fixture Rated Life: 50,000 hr. Five (5) year warranty.



## Urb El Rosario Facility Damages Repair

### *Facility Damage – Baseball Field Bleachers Metal Canopy*

- 1) Paint entire canopy structure all around. See paint notes.
- 2) Approximately 16' x 42' or 672 SF.
- 3) Remove supply and repair by replacement of entire canopy structure. Similar to existing. See details.
- 4) Remove, supply, and repair by replacement of C8 purlins. 80 LF Approx..
- 5) Remove, supply, and repair by replacement of C4 purlins. 378 LF Approx..
- 6) Remove, supply, and repair by replacement of new galvalume panel ga 24. (672 SF Approx.).
- 7) Install new edge trim 116 FT Approx.
- 8) Install new gutter 42 Ft Approx. Install new downspout (60LF Approx.)
- 9) Install new knotless .75" , #420, 2mm, TS-135LB, 100% nylon with enhanced UV treatment. Bird Net (672 SF Approx.)







### ***Facility Damage – Baseball Field Bleachers***

- 1) Repair concrete bleacher sections- Spalling Concrete:
  - a. Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.
- 2) Paint existing bleachers. See paint notes. **Paint all existing painted surfaces, unless otherwise noted.**
- 3) Dimensions: 10' w x 42' l x 80" h. One (1) ea.







### ***Facility Damage – Baseball Field Dugouts***

- 1) Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Thin set concrete resurfacing of existing dugout floors. Equal or similar to NewCrete concrete Resurfacer by Rapid Set.
- 5) Dimensions: 6' w x 14' l. Two (2) ea. (168 SF)
- 6) Pressure wash cleaning of existing concrete roof. 168 SF.
- 7) Installation of new waterproofing system. 168 SF. Equal or similar to Danosa RM 5 modified bitumen membrane. The contractor shall provide a 10 YR warranty. Installation of product must be as recommended by the manufacturer.
- 8) Paint existing dugouts. See paint notes. Paint all existing painted surfaces, unless otherwise noted.







### **Facility Damage – Baseball Field *Canteen / Restrooms***

- 1) Spalling Concrete - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) 25' w x 16' l.
- 5) Pressure wash cleaning of existing concrete roof. 400 SF.
- 6) Installation of new waterproofing system. 400 SF. Equal or similar to Danosa RM 5 modified bitumen membrane. The contractor shall provide a 10 YR warranty. Installation of product must be as recommended by the manufacturer.
- 7) Paint existing Canteen (Interior and Exterior). See paint notes. Paint all existing painted surfaces, unless otherwise noted.
- 8) Interior painting Canteen and Restrooms area 1352 SF Approx.
- 9) Clean with muriatic acid existing restroom's floor tile. 72 SF Approx.
- 10) Remove existing canteen floor vinyl tile and install new Thin set concrete resurfacing and paint. Equal or similar to NewCrete concrete Resurfacer by Rapid Set. See Paint Notes. (250 SF)
- 11) Remove supply and install Two (2), Toilets, two (2) lavatory and one (1) urinal. See Restrooms Structure – Baseball Field scope.
- 12) Install new kitchen cabinet 6 FT re-use sink, install new faucet. Equal or similar to Delta faucet. See details.
- 13) See pictures on drawings.







### ***Facility Damage – Restrooms Structure – Baseball Field***

- 1) Remove and dispose of all restroom equipment: two (2) toilets, two (2) lavatories, one (1) urinal, and accessories.
- 2) Supply and install new ADA complaint restroom equipment and accessories. Include all fittings, valve, p-trap, tail piece, etc.
- 3) Remove, dispose, and replace toilet fixture. Include toilet seats, fittings, and valve. Ensure the fixture fits in the existing sanitary connection.
- 4) Material Description:(where occur or required):
  - a. Lavatory: Wall-mounted. Vitreous China, white, 20-½ in x 18-¼ in with 4 in center faucet holes, front overflow, D-shaped bowl. Two (2) lavatories are needed.
  - b. Faucets: Conventional widespread, 0.5 GPM pressure compensating, vandal-resistant multi-laminar spray. Factory set for a maximum of 0.08 gallons per cycle. Two (2) faucets are needed.
  - c. Toilet Paper Dispenser: Surface-mounted, multi-roll, stainless steel, satin finish, 6-1/16" W x 11" H x 5-15/16" D. Holds two rolls up to 5-¼" in diameter. Theft-resistant, heavy-duty spindles. Two (2) toilet paper dispensers are needed.
  - d. Floor: Refer to paint scope section for details. If apply.
  - e. Toilets: Single flush. Flush volume is 1.1 GPF to 1.28 GPF. Elongated. ADA Compliance. Chair Height.
  - f. Urinals: Low consumption, 1.0 gallon per flush (1.0 gpf/3.8 Lpf). Siphon jet flush action. Extended sides for privacy, vitreous china. One (1) urinal is needed.
- 5) Product Reference: (where occur or required):
  - a. Lavatory: Equal or similar to American Standard, Lucerne Wall Hung Lavatory Model 0355.012.
  - b. Faucets: Equal or similar to American Standard Metering Faucet Model 1340.827.
  - c. Toilet Paper Dispenser: Equal or similar to Bobrick Model B-2888 Classic Series.
  - d. Floor: Refer to paint scope section for details.
  - e. Toilets: Similar or equal to American Standard
  - f. Champion Two-Piece 1.28 GPF Single Flush Elongated Chair Height Toilet with Slow-Close Seat in White





- g. Urinals: Similar or equal to KOHLER Dexter 0.125 GPF Urinal with Top Spud in White Model # K-5452-ET-0.
- h. American Standard - Ultima Manual FloWise 0.125 GPF Exposed Urinal Flush Valve in Polished Chrome for 0.75 in. Top Spud

### ***Facility Damage – Baseball Field Chain Link Fences***

- 1) Remove and dispose of existing damaged 6' high chain link fence sections in the outfield perimeter where occur. Approximately 100 LF.
- 2) Supply and install new 6' high chain link fence sections in the outfield perimeter where occur. Approximately 100 LF.
- 3) Supply and install new single swing gate near the right field corner of the outfield perimeter. Three (3) LF.
- 4) Supply and install new double swing gate near the center of the outfield perimeter. Nine (9) LF.
- 5) Supply and install new double swing gate in the right field corner of the outfield perimeter. 14 LF.
- 6) Remove and dispose of existing damaged 16' high chain link fence:
  - a. The backstop. 55 LF.
  - b. In the left field perimeter. 220 LF.
  - c. In the right field perimeter. 100 LF.
  - d. In front of the bleachers to the backstop. 80 LF.
  - e. Total of 455 LF.
- 7) Supply and install new 16' high chain link fence:
  - a. The backstop. 55 LF.
  - b. In the left field perimeter. 220 LF.
  - c. In the right field perimeter. 100 LF.
  - d. In front of the bleachers to the backstop. 80 LF.
  - e. Total of 455 LF.
- 8) Paint all remaining chain link fence. See paint notes.
- 9) Refer to standard drawings for chain link fence and gates details.
- 10) Supply and install a new fence topper all along the perimeter of the outfield fence. Equal or similar to model 01160 Poly-Cap by Baseball Fence Toppers. Approximately 500 LF.









### ***Facility Damage – Complex Concrete Sidewalks***

- 1) Pressure wash cleaning of existing sidewalks in front of bleachers and surrounding concrete surfaces. Approximately 232 SF.
- 2) Thin set concrete resurfacing of existing sidewalks. Equal or similar to NewCrete concrete Resurfacer by Rapid Set. Baseball field - Approximately 232 SF.
- 3) Pressure wash cleaning of existing concrete area between basketball court and baseball field. Approximately 5,460 SF.



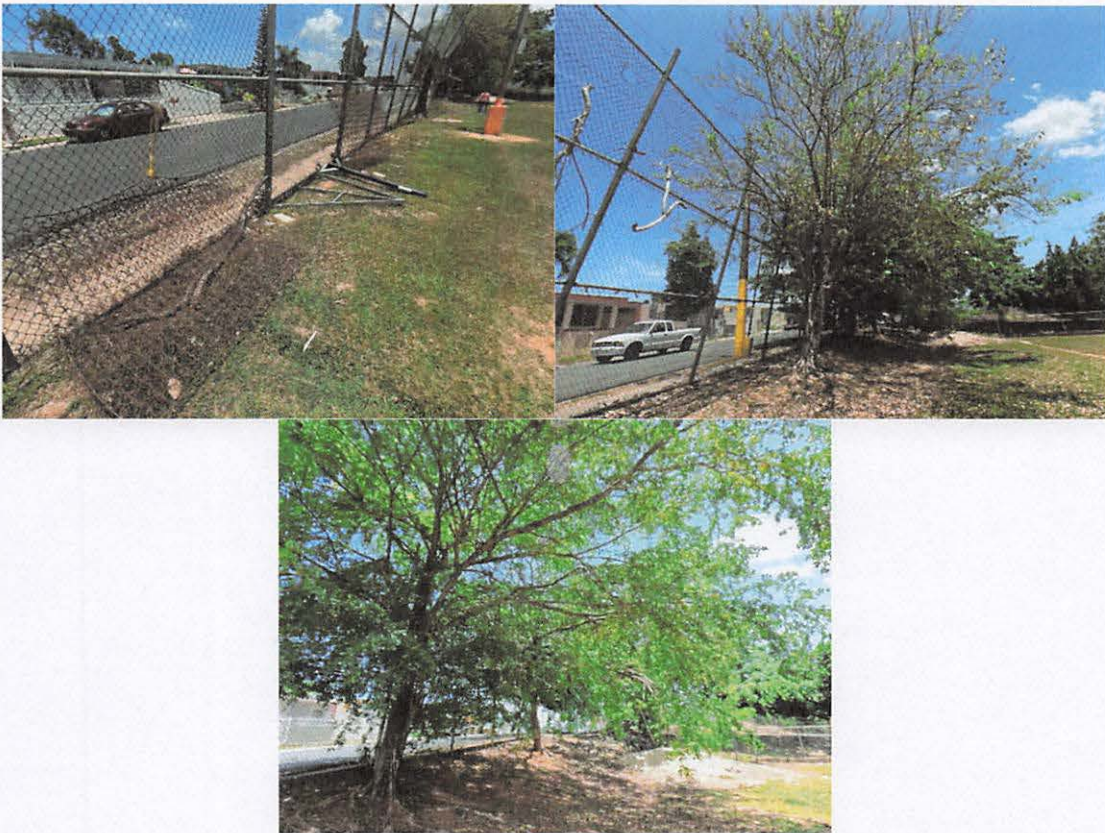
- 4) Demolish, dispose, and replace existing concrete sidewalks 4 FT, 5 FT, 6 FT and 10 FT sections. The contractor must consider 1550 SF Approx. Sections will be selected on site. See construction details.





***Facility Damage – Baseball Field Vegetative and Non-Vegetative Debris***

- 1) Remove approximately 1 CY of non-vegetative debris.
- 2) Prune trees along the chain link fence in the left field area. Three (3) ea.







### ***Facility Damage – Handball Court***

- 1) Remove existing handball court markings. See Handball Court Technical Specifications.
  - a. Apply a paint stripper.
  - b. Scrape away the paint.
  - c. Rinse the concrete with a pressure washer.
- 2) Paint handball court markings. Use acrylic system see Multi-sport Technical Specifications.
- 3) See paint in general specifications.
- 4) Dimensions: 60' x 65'. One (1) ea. (3,900 SF)







### ***Facility Damage – Multisport Court***

- 1) Remove existing basketball court markings. See Multisport Court Technical Specifications.
  - a. Apply a paint stripper.
  - b. Scrape away the paint.
  - c. Rinse the concrete with a pressure washer.
- 2) Supply and install new basketball goal pole set of two (2), new acrylic basketball goal boards. Two (2) ea. See Details.
- 3) Supply and install new Volleyball Ground Sleeves Kits, equal to or similar to Jaypro PVB-75S. (2ea.)
- 4) Paint multisport court markings, volleyball net poles, and goal poles. See Multisport Court Technical Specifications.
- 5) See paint in general specifications.
- 6) Dimensions: 60' w x 110' l. (6,600 SF)







### ***Facility Damage – Multisport Court Bleachers - New Canopy***

- 1) Spalling Concrete - Repair concrete bleacher sections:
  - a. Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.
- 2) Paint existing bleachers. See paint notes.
- 3) Dimensions: 10' d x 35' l x 63" h. One (1) ea.
- 4) Demolition and disposal of existing concrete pole base in front of bleachers and concrete bench remains on the opposite side. Approximately 1 CY.
- 5) Demolition and disposal of existing fallen athletic pole base behind the bleachers. Approximately 1 CY.
- 6) Supply and install new 2" diameter steel handrails on the laterals and rear of the bleachers. Meet the standard height. See details. 55 LF.
- 7) Construct new metal roof structure for the bleachers area. 14' x 39'. Approximately 546 SF. See Details.
- 8) Install new knotless .75" , #420, 2mm, TS-135LB, 100% nylon with enhanced UV treatment. (546 SF Approx.)







### ***Facility Damage - Multisport Court Concrete Table and Benches***

- 1) Spalling Concrete- Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Supply and install a new precast concrete park bench. 6' L x 16" W x 8" H. Four (4) ea.
- 5) Precast concrete park bench made of Portland Cement (ASTM C150, all aggregates meet ASTM C33) reinforced with 3/8" diameter steel rebar.
- 6) Paint concrete benches with exterior wall paint. See paint notes. Four (4) ea.







***Facility Damage – Multisport Court Restrooms Structure – To be used as Storage***

- 1) Spalling concrete repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Dimensions: 12' w x 18' l.
- 5) Remove, supply, and repair by replacement of metal doors. 33" w x 78" h. Two (2) ea.
- 6) Pressure wash cleaning of existing concrete roof. 216 SF.
- 7) Installation of new waterproofing system. 216 SF. Equal or similar to Danosa RM-5 modified bitumen membrane. The contractor shall provide a 10 YR warranty. Installation of product must be as recommended by the manufacturer.







### ***Facility Damage – Volleyball Grass Field***

- 1) Supply and install new volleyball net poles. Two (2) ea. 4" Diam. X 12 FT Steel Pipe with cap. 18" Diam Concrete footing 4 ft depth.
- 2) Paint volleyball net poles. Two (2) ea.
- 3) See paint notes in general specifications.



### ***Facility Damage – Volleyball Grass Field Vegetative Debris***

- 1) Remove approximately 3 CY of vegetative debris.







**Facility Damage – *ADA* League Baseball Field Chain Link Fence**

- 1) Remove and dispose of existing damaged 4' high chain link fence sections around the field. Approximately 160 LF.
- 2) Supply and install new 4' high chain link fence sections around the field. Approximately 160 LF.







**Facility Damage – ADA League Baseball Field Bleachers**

- 1) Repair concrete bleacher sections (Spalling Concrete):
  - a. Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.
- 2) Paint existing bleachers. See paint notes. Paint all existing painted surfaces, unless otherwise noted.
- 3) Dimensions: 12' w x 32' l x 76" h. One (1) ea.
- 4) Remove, supply, and repair by replacement of existing damaged metal roof panels by Galvalume panels Ga 24 and repair existing structure for the bleachers. 12' w x 32' l. One (1) each. 384 SF in total approx. Install new C8 x 3.5" Ga 14 sections 192 LF total approx. See Details.
- 5) Install new edge trim 56 LF Approx.
- 6) Install new gutter 32 LF Approx. Install new downspout (45 LF Approx.)
- 7) Install new knotless .75" , #420, 2mm, TS-135LB, 100% nylon with enhanced UV treatment. (384 SF Approx.)







### **Facility Damage – *ADA League Baseball Field Dugouts***

- 1) Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Seating Dimensions: 4' w x 22' l x 32" h. Two (2) ea
- 5) Remove, supply, and repair by replacement of existing damaged metal roof panels for the dugouts and repair existing structure. 10' w x 22' l. Two (2) ea. 440 SF in total. Install new C8 x 3.5" Ga 14 sections 100 LF total approx.. See Details.
- 6) Paint existing bleachers. See paint notes. Paint all existing painted surfaces, unless otherwise noted.
- 7) Install new edge trim 80 LF Approx.
- 8) Install new gutter 70 LF Approx. Install new downspout (60LF Approx.)
- 9) Install new knotless .75", #420, 2mm, TS-135LB, 100% nylon with enhanced UV treatment. (440 SF Approx.)







**Facility Damage – ADA League Baseball Field Restrooms Structure**

- 1) Spalling Concrete repairs - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Dimensions: 12' w x 24' l.
- 5) Pressure wash cleaning of existing concrete roof. 288 SF.
- 6) Installation of new waterproofing system. 288 SF. Equal or similar to Danosa RM 5 modified bitumen membrane. The contractor shall provide a 10 YR warranty. Installation of product must be as recommended by the manufacturer.
- 7) Replace existing 24" x 24" Jalousie Aluminum Window.
- 8) Replace existing door lock – 2 ea. – Heavy duty commercial, stainless steel satin finish, privacy keyed, level handle door lock.



- 9) Remove and dispose of all restroom equipment: two (2) toilets, two (2) lavatories, one (1) urinal, and accessories.
- 10) Supply and install new ADA complaint restroom equipment and accessories. Include all fittings, valve, p-trap, tail piece, etc.
- 11) Remove, dispose, and replace toilet fixture. Include toilet seats, fittings, and valve. Ensure the fixture fits in the existing sanitary connection.
- 12) Material Description:(where occur or required):





- a. Lavatory: Wall-mounted. Vitreous China, white, 20-½ in x 18-¼ in with 4 in center faucet holes, front overflow, D-shaped bowl. Two (2) lavatories are needed.
- b. Faucets: Conventional widespread, 0.5 GPM pressure compensating, vandal-resistant multi-laminar spray. Factory set for a maximum of 0.08 gallons per cycle. Two (2) faucets are needed.
- c. Toilet Paper Dispenser: Surface-mounted, multi-roll, stainless steel, satin finish, 6-1/16" W x 11" H x 5-15/16" D. Holds two rolls up to 5-¼" in diameter. Theft-resistant, heavy-duty spindles. Two (2) toilet paper dispensers are needed.
- d. Floor: Refer to paint scope section for details. If apply.
- e. Toilets: Single flush. Flush volume is 1.1 GPF to 1.28 GPF. Elongated. ADA Compliance. Chair Height.
- f. Urinals: Low consumption, 1.0 gallon per flush (1.0 gpf/3.8 Lpf). Siphon jet flush action. Extended sides for privacy, vitreous China. One (1) urinal is needed.
- g. Product Reference: (where occur or required):
  - a. Lavatory: Equal or similar to American Standard, Lucerne Wall Hung Lavatory Model 0355.012.
  - b. Faucets: Equal or similar to American Standard Metering Faucet Model 1340.827.
  - c. Toilet Paper Dispenser: Equal or similar to Bobrick Model B-2888 Classic Series.
- d. Floor: Refer to paint scope section for details.
- e. Toilets: Similar or equal to American Standard
- f. Champion Two-Piece 1.28 GPF Single Flush Elongated Chair Height Toilet with Slow-Close Seat in White
- g. Urinals: Similar or equal to KOHLER Dexter 0.125 GPF Urinal with Top Spud in White Model # K-5452-ET-0.
- h. American Standard - Ultima Manual FloWise 0.125 GPF Exposed Urinal Flush Valve in Polished Chrome for 0.75 in. Top Spud





**Facility Damage – *ADA* League Baseball Field Vegetative Debris**

- 1) Remove approximately 3 CY of vegetative debris.
- 2) Prune trees around the field. Eight (8) ea.







***Facility Damage – ADA Baseball Field -Playground Field***

1) Repair existing surface. Remove existing system and install new spray coat system. Use ½" min. Rubber surface thickness. Equal or similar to OAFA Rubber Product. (11,250 SF Approx.). Repair Cracks and surface before rubber installation as recommended by manufacturer.







### ***Facility Damage – Covered Basketball Court Roof Structure***

- 1) Remove, supply and repair by replacement of metal roof side panels 3' w x 10' l. Ten (10) ea. (300 SF)
- 2) Remove, supply and repair by replacement of metal roof panels 3' w x 55' l. (25) ea. (4125 SF) and install new ridge panel (690 SF). Seal all existing panel perforations with a sealant equal or similar to Titebond WeatherMaster Metal Roof Sealant.
- 3) Remove, supply and repair by replacement of gutters. Approximately 230 LF.
- 4) Remove, supply and repair by replacement of downspouts. Approximately 22' long. Eight (8) ea. Approximately 176 LF.
- 5) Remove, supply and repair by replacement of trims. Approximately 220 LF.
- 6) Remove, supply and repair by replacement of Edge Corner trims. Approximately 40 LF.
- 7) Paint entire structure, inside and outside including siding. with exterior wall paint, equal or similar to Sherwin-Williams Quick Dry Interior/Exterior Stain Blocking Primer. Apply one coat of primer. Apply two (2) coats of paint. A-100 exterior acrylic latex. Use DTM Paint for siding.
- 8) Building dimensions: 102, w x 115' l.







***Facility Damage – Covered Basketball Court Roof Structure – Interior***

- 1) Remove, supply and repair by replacement of existing intermediate z10 galv Ga 14 steel purlin sections. (480 LF)
- 2) Remove, supply and repair by replacement of existing edge z10 galv Ga 14 steel purlin sections. (230LF)
- 3) Paint New purling section to match existing.



- 4) Clean and paint all interior concrete structure (Court, Office, Canteen, Restrooms) 21,200 SF Approx.
- 5) Replace existing wall ceramic tile section 100 SF. Use Ceramic Tile Equal or similar to Jeffrey Court - Grande Azulado Rustico 10 in. x 20 in. Subway Gloss Ceramic Wall Tile.





### ***Facility Damage – Small Concrete Pole and Benches***

- 1) Demolition and disposal of existing small concrete pole in the west side of the covered basketball court structure. Approximately 1 CY in.
- 2) Demolish and dispose of existing damaged wooden bench remains. Four (4) ea. Approximately 1 CY.
- 3) Supply and install new precast concrete park benches. 72" L x 20" W x 18" H. Four (4) ea.
- 4) Precast concrete park bench made of Portland Cement (ASTM C150, all aggregates meet ASTM C33) reinforced with 3/8" diameter steel rebar.
- 5) Install Thin set concrete resurfacing of existing roundabout sidewalk. Equal or similar to NewCrete concrete Resurfacer by Rapid Set. Pressure wash before installation.







### ***Facility Damage – Playground Equipment***

- 1) Remove and dispose of existing damaged playground equipment. One (1) swing, and One (1) seesaw.
- 2) Supply and install new 10' freestanding metal slide:
  - a. Stainless steel bed way, 18 gauge, secured to a 4" deep "D" shaped side rails.
  - b. Safety platform of 22" x 22" square, 14-gauge galvanized steel.
  - c. Handrails of 1.315" O.D. galvanized steel.
  - d. Meets ASTM and CPC guidelines.
  - e. One (1) ea.
- 3) Supply and install new four (4) seat seesaw:
  - a. Pipe Arm: 5" diameter, galvanized pipe, powder coated paint finish.
  - b. Handles / Footrests: Formed from 1- 1/4" galvanized pipe, powder coated.
  - c. Seats: Molded polyethylene.
  - d. Hardware / Nuts and Bolts: Stainless steel.
  - e. Unit size 10' L x 8' W x 1.5' H.
  - f. Safety area 22' L x 20' W.
  - g. Age range: 3-12 years.
  - h. Kids Capacity: 4 kids.
  - i. Concrete Pedestal: 12" x 12" X 18".
  - j. Weight: 220 lbs.
  - k. ADA Compliant.
  - l. One (1) ea.
- 4) Supply and install new swing set:
  - a. Basic Commercial Belt Swing Seat with 8'6" Platisol Chain.
  - b. Swing Seat is 6" x 24" EPDM rubber.
  - c. High carbon steel spring inserts for strength and vandal resistance.
  - d. Sturdy galvanized triangle hardware riveted to seat.
  - e. The chain is 8'6" (102") in length and is partially platisol coated for 30".
  - f. Recommended chain length for swing beams that are 10-12 ft tall.
  - g. Chain comes assembled to swing with commercially rated S-Hooks.
  - h. One (1) ea.
- 5) Supply and install new monkey bars:
  - a. Vertical ladder frames are fabricated from 5" O.D.
  - b. 10-gauge galvanized steel tubing with 1-3/4" O.D.
  - c. Weld assembly shall be powder coated after fabrication.



- d. Steel tubing rungs are 1-3/4" O.D. 14.
  - e. Weight: 220 lbs.
  - f. One (1) ea.
- 6) Equal or similar to Playset Parts product.







### ***Paint General Specifications***

- 1) Paint all existing structures. (Bleachers, benches, steel structures, concrete structures, buildings, restrooms, canteen, basketball court, etc., where occur).
- 2) Clean and patch all existing concrete surfaces. See paint notes.
- 3) Product Description:
  - a. Steel Structures: Equal or similar to Sherwin Williams Pro Industrial DTM Acrylic Primer/Finish. Apply one coat of primer and two (2) coats of paint.
  - b. Exterior Wall Paint: Equal or similar to Sherwin-Williams Quick Dry Interior/Exterior Stain Blocking Primer. Apply one coat of primer. Apply two (2) coats of paint. A-100 exterior acrylic latex.
  - c. Interior Wall Paint: Equal or similar to Sherwin-Williams Moisture Vapor Barrier Interior Latex primer/sealer. Apply one coat of primer and two (2) coats of paint. Promar 400 Zero VOC Interior Latex Primer.
  - d. Floors: [Similar or equal to American Safety Technologies AS-150 HAPS Free Anti-Slip Coating](#)
  - e. All exterior concrete structure or item must be painted with exterior paint.
  - f. See paint notes on drawings.
- 4) Patch and finish the affected area with Vinyl Concrete Patch.













## **SOW ELECTRICAL WORK**

### ***Facility Damage Electrical - Baseball Field***

#### ***Baseball Field Lighting System***

As part of field lighting system, the contractor must consider the following:

- A) Removal of existing lighting poles eight (8ea) and panels system. The installation of a new distribution panel, equal or similar to model GE Load Center: 125 Amps, 120/240V AC, 24 Spaces, 22kA, NEMA 3R Combo Flush/Surface, Main Circuit Breaker. Item 32WT01Mfr. Model TM2412RCU, to be installed at the existing electrical closet.
- B) The contractor must install a control panel equal or similar to MUSCO control link contactor cabinet system at the existing electrical closet.
- C) The contractor must re-use the existing lighting system wiring.
- D) All electrical installation must be done as per the code and regulations, and the contractor must provide an electrical certification to the owner.
- E) **The contractor must consider Six (6) poles of 60 FT, 18 luminaries Equal or similar to Four (4) – model TLC-LED-550, Four (4) – model TLC-BT-575, Six (6) – model TLC-LED-900 and Four (4) – model TLC-LED-1200, including six (6) precast self-support concrete pole base. All athletic poles must be grounded. (6ea).**
- F) The contractor must install new 3-#4 RHHN underground electrical wiring. Use 2in min. diameter PVC SCHD. 40 conduits. See trench detail. (1,350 LF Approx.)
- G) The contractor must consider a dedicated circuit breaker per each pole.
- H) The contractor must consider four (4) Pull boxes.
- I) See drawings.









## ***Facility Damage Electrical - ADA Baseball Field Poles***

### ***ADA Baseball Field Lighting System***

As part of field lighting system, the contractor must consider the following:

- A) Removal of existing lighting poles Two (2ea). The installation of a new distribution panel, equal or similar to model GE Load Center: 125 Amps, 120/240V AC, 24 Spaces, 22kA, NEMA 3R Combo Flush/Surface, Main Circuit Breaker. Item 32WT01Mfr. Model TM2412RCU, to be installed next to the existing meter base located against west wall of the covered basketball court.
- B) The contractor must install a control panel equal or similar to MUSCO control link contactor cabinet system, next to existing meter base located against west wall of the covered basketball court.
- C) The contractor must re-use the existing lighting system wiring.
- D) All electrical installation must be done as per the code and regulations, and the contractor must provide an electrical certification to the owner.
- E) **The contractor must consider Two (2) poles of 60 FT, four (4) luminaries Equal or similar to Four (4) – model TLC-LED-1200, including two (2) precast self-support concrete pole base. All athletic poles must be grounded. (2ea).**
- F) The contractor must install new 3-#4 RHHN underground electrical wiring. Use 2in min. diameter PVC SCHD. 40 conduits. See trench detail. (300 LF Approx.)
- G) The contractor must consider a dedicated circuit breaker per each pole.
- H) The contractor must consider two (2) Pull boxes.
- I) See drawings.







***Facility Damage Electrical – Property Concrete Poles***

- 1) Removal of existing damaged concrete poles. 20' high. Two (2) ea.





***Facility Damage Electrical – Outdoor Basketball Court - Multisport Court  
(Basketball / Volleyball / Handball / walking path)***

As part of field lighting system, the contractor must consider the following:

- A) Removal of existing lighting poles One (1 ea).
- B) Use new distribution panel LPB and Control Link
- C) The contractor must re-use the existing lighting system wiring.
- D) All electrical installation must be done as per the code and regulations, and the contractor must provide an electrical certification to the owner.
- E) The contractor must consider One (1) poles of 50 FT, five (5) luminaries Equal or similar to two (2) – model TLC-LED-550, and three (3) – model TLC-LED-900 including one (1) precast self-support concrete pole base. All athletic poles must be grounded. (1ea).
- F) The contractor must install new 3-#4 RHHN underground electrical wiring. Use 2in min. diameter PVC SCHD. 40 conduits. See trench detail. (655 LF Approx.)
- G) The contractor must consider a dedicated circuit breaker per each pole.
- H) The contractor must consider two (2) Pull boxes.
- I) See drawings.







***Facility Damage Electrical – Outdoor Basketball Court - Concrete Bleachers Canopy***

1) Supply and install new florescent lighting fixture with new LED lighting fixtures equal or similar to CNY LED Canopy Lighting by Lithonia Lighting. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. Two (2) ea. [Connect to new distribution panel LPB. Use 3#12, 3/4" PVC SCHD. 40 conduit.](#)

- a. LED Interior/Exterior Luminaire.
- b. Color Temp of 4000k.
- c. Fixture Voltage: 120 to 277VS
- d. LED replacement for: Up to 250W MH
- e. Lumens: 6,600 lm
- f. Fixture Rated Life: 50,000 hr. Five (5) year warranty.

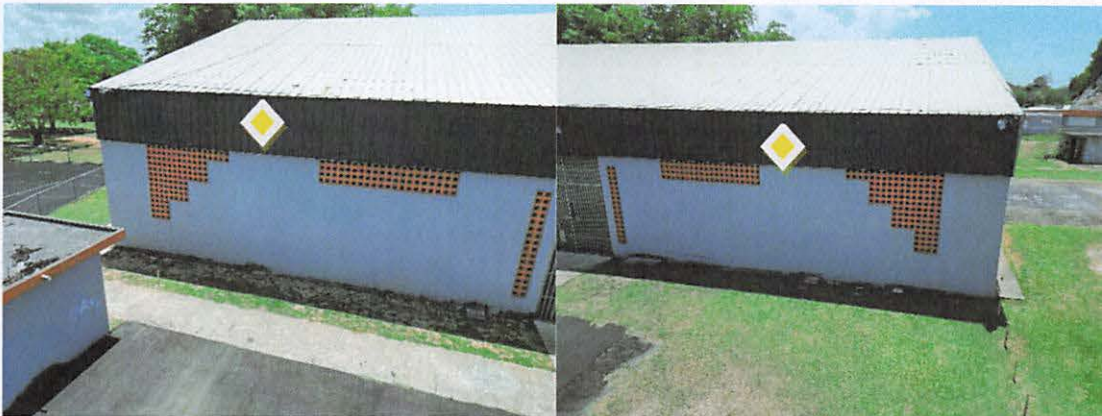






***Facility Damage Electrical – Covered Basketball Court Roof Structure (Exterior)***

- 1) Remove, supply and repair by replacement of exterior lighting fixtures for the west, south and east sides of the building structure. Six (6) ea. Equal or similar to model ValueLED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer. Connect to new distribution panel LPB. Use 3#12, 3/4" PVC SCHD. 40 conduit.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.







***Facility Damage Electrical – Bleacher Canopy and Canteen/Restroom- Baseball Field***

- 1) Supply and install new florescent lighting fixture with new LED lighting fixtures equal or similar to CNY LED Canopy Lighting by Lithonia Lighting. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. Two (2) ea. Connect to new distribution panel LPA. Use 3#12, 3/4" PVC SCHD. 40 conduits. (Bleacher)
  - a. LED Interior/Exterior Luminaire.
  - b. Color Temp of 4000k.
  - c. Fixture Voltage: 120 to 277VS
  - d. LED replacement for: Up to 250W MH
  - e. Lumens: 6,600 lm
  - f. Fixture Rated Life: 50,000 hr. Five (5) year warranty.
  
- 2) Supply and install of exterior lighting fixtures at the roof of Canteen/Restroom structure. Three (3) ea. Equal or similar to model Value LED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer. Connect to new distribution panel LPA. Use 3#12, 3/4" PVC SCHD. 40 conduit. Include photocell.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.



***Facility Damage Electrical – Bleacher and Dugouts Canopy -ADA Baseball Field***

1) Supply and install new florescent lighting fixture with new LED lighting fixtures equal or similar to CNY LED Canopy Lighting by Lithonia Lighting. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. **Two (2) ea. per canopy, Six (6 ea. Total) Connect to new distribution panel LPA. Use 3#12, 3/4" PVC SCHD. 40 conduits. Include photocell.**

- a. LED Interior/Exterior Luminaire.
- b. Color Temp of 4000k.
- c. Fixture Voltage: 120 to 277VS
- d. LED replacement for: Up to 250W MH
- e. Lumens: 6,600 lm
- f. Fixture Rated Life: 50,000 hr. Five (5) year warranty.





## **Urb Alturas de Vega Baja Facility Damages Repair**

### ***Chain Link Fence and Gates***

- 1) Remove and dispose of existing damaged 3' high chain link fence sections on the south side of the large basketball court. Approximately 81 LF.
- 2) Supply and install new 6' high chain link fence sections on the south side of the large basketball court where occur, to match existing. Approximately 81 LF.
- 3) Remove and dispose of existing damaged 4' high chain link fence sections surrounding the small basketball court. Approximately 95 LF.
- 4) Supply and install new 6' high chain link fence sections surrounding the small basketball court, 47 LF in the center of the north and south sides of the court and 78 LF in the center of the east side of the court. Approximately 172 LF in total.
- 5) Remove and dispose of existing damaged single 4' high swing gate to enter the playground. 4 LF.
- 6) Supply and install a new single 4' high swing gate to enter the playground. 4' wide. One (1) ea.
- 7) Remove and dispose of existing damaged 5' high chain link fence sections on the whole baseball field perimeter. Approximately 950 LF.
- 8) Supply and install new 6' high chain link fence sections on the whole baseball field perimeter, to match existing. Approximately 929 LF.
- 9) Supply and install a new single 6' high swing gate in the right field baseball field fence near the dugout, to match existing. Three (3) LF. One (1) ea.
- 10) Supply and install a new single 6' high swing gate in the outfield baseball field fence to access the stairs located to the north of the field, to match existing. Three (3) LF. One (1) ea.
- 11) Supply and install a new single 6' high swing gate in the left field baseball field fence next to the dugout, to match existing. Three (3) LF. One (1) ea.
- 12) Supply and install a new double 6' high swing gate in the left field baseball field fence to match existing. 12' wide. One (1) ea.
- 13) Paint all chain link fences in the baseball field perimeter. Use metallic oil base. See paint notes.
- 14) Galvanized steel chain link #9 gauge 2" mesh.
- 15) 2" diameter galvanized pipes.
- 16) Refer to standard drawings for chain link fence and gates details.
- 17) Supply and install a new fence topper all along the perimeter of the outfield, left field, and right field fences. Equal or similar to model 01160 Poly-Cap by Baseball Fence Toppers. Approximately 950 LF.













### ***Facility Damage – Bleachers***

- 1) Demolition and disposal of existing damaged concrete bleacher steps and base floor. Approximately 102 CY.
- 2) Build new concrete bleacher steps and base floor:
  - a. Five (5) steps, 27" wide x 104' long x 16" high each.
  - b. Base floor dimensions: 72" wide x 81' long. One (1) ea.
- 3) Repair concrete bleacher sections:
  - a. Spalling concrete repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.
- 4) Supply and install a new foul net in the frontal part of the bleachers.
  - a. Dimensions: 81' l x 20' h.
- 5) Paint existing bleachers. See paint notes.
- 6) Entire bleacher dimensions: 17.5' w x 104' l x 16.5' h. One (1) ea.
- 7) Paint new concrete bleachers. See paint notes.
- 8) Supply and install new 5' high chain link on the rear handrails of the bleachers. See details. 104 LF.











### ***Facility Damage – Dugouts***

- 1) Spalling concrete repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Thin set concrete resurfacing of existing dugout floors. Equal or similar to NewCrete concrete Resurfacer by Rapid Set. 315 SF in total.
- 5) Dimensions: 90" w x 21' l x 7' h.
- 6) Two (2) ea.
- 7) Supply and install chain link sections for the frontal parts of the dugouts:
  - a) 20' l x 58" h. Two (2) ea.







### ***Facility Damage – Concrete Canteen/Restrooms Structure***

- 1) Spalling concrete repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Dimensions: 22' w x 26' l x 9' h.
- 5) Pressure wash cleaning of existing concrete roof. Approximately 572 SF.
- 6) Installation of new waterproofing system. Equal or similar to Danosa Modified Bitumen Membrane. The contractor shall provide a 10 YR warranty. Installation of product must be as recommended by the manufacturer. Approximately 572 SF.







***Facility Damage - Concrete Sidewalks and Concrete Surfaces***

- 1) Demolition and disposal of existing damaged concrete sidewalk sections around the property where occur. Approximately 72 CY.
- 2) New 3' wide sidewalk, approximately 3,840 SF, to match existing. Cut control joints every 5'.
- 3) Pressure wash cleaning of existing sidewalks and concrete areas around the front of the community center and its parking lot. Approximately 5,000 SF.
- 4) Thin set concrete resurfacing of existing sidewalks. Equal or similar to NewCrete concrete Resurfacer by Rapid Set. Approximately 5,000 SF.

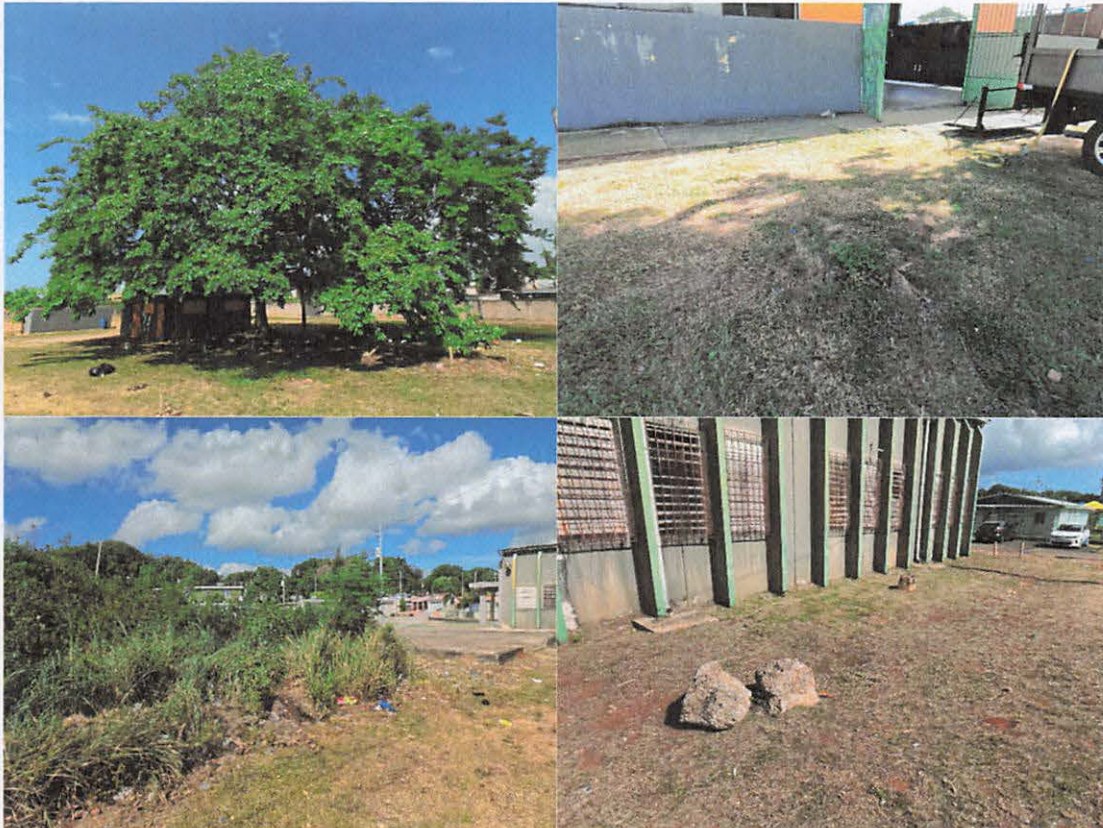






### ***Vegetative and Non-Vegetative Debris***

- 1) Remove approximately three (3) CY of vegetative debris.
- 2) Remove approximately two (2) CY of non-vegetative debris.
- 3) Remove tree stumps. Four (4) ea.
- 4) Tree pruning 30%. Two (2) ea.











***Facility Damage – Baseball Field Foul Poles***

- 1) Supply and install new 2 foul poles. Equal or similar to model Grand Slam Fencing Foul Pole Kit, Part # A15-941 by Anthem Sports.
  - a. Two 6' high reinforced PVC foul poles wrapped in 8' high Safefoam.
  - b. Includes two ground sockets and six 19" yellow tie wraps for attachment.
  - c. Compatible with temporary, in-ground fencing (see illustration).
  - d. Image for illustration purposes only.







### ***Facility Damage - Covered Multisport Court Structure***

- 1) Roof dimensions: 82' w x 106' l.
- 2) Repair of small holes in metal roof panels where occur.
- 3) Remove, supply and repair by replacement of trims. 200 LF.
- 4) Remove, supply and repair by replacement of gutters. 106 LF.
- 5) Remove, supply and repair by replacement of downspouts. 22 LF. 12 ea.
- 6) Remove, supply and repair by replacement of existing Type Z-10, purlins. 212 LF.
- 7) Remove, supply and repair by replacement of metal ridge panels 3' w x 20' l. Five (5) ea.
- 8) Supply and install new column protector pads. Ten (10) ea.
- 9) Paint all columns from the base to the roof siding's edge.
- 10) See paint notes.
- 11) Spalling concrete repair - Chip existing loose concrete and treat the exposed rebar on existing exterior walls on the covered court structure. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 12) Apply bonding primer and reinforcement corrosion protection.
- 13) Patch and finish the affected area with Vinyl Concrete Patch.







### ***Facility Damage - Covered Multisport Court***

- 1) Remove existing basketball court markings. See Multisport Court Technical Specifications.
  - a. Apply a paint stripper.
  - b. Scrape away the paint.
  - c. Rinse the concrete with a pressure washer.
- 2) Supply and install new acrylic basketball goal boards. (2 ea.)
- 3) Supply and install new Volleyball Ground Sleeves Kits, equal to or similar to Jaypro PVB-75S. (2ea.)
- 4) Paint multisport court markings, volleyball net poles, and goal poles. See Multisport Court Technical Specifications.
- 5) See paint in general specifications.
- 6) Color to be selected by owner.
- 7) See paint notes.
- 8) Dimensions: 71' w x 106' l.







### ***Facility Damage – Covered Multisport Court Concrete Table and Benches***

- 1) Demolish and dispose of existing damaged concrete benches. Two (2) ea. Approximately three (3) CY.
- 2) Supply and install new precast concrete park benches. 72" L x 20" W x 18" H. Four (4) ea.
- 3) Precast concrete park benches made of Portland Cement (ASTM C150, all aggregates meet ASTM C33) reinforced with 3/8" diameter steel rebar.
- 4) Spalling concrete repair - Chip existing loose concrete and treat the exposed rebar on existing concrete scoring table. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 5) Apply bonding primer and reinforcement corrosion protection.
- 6) Patch and finish the affected area with Vinyl Concrete Patch.
- 7) Paint with exterior wall paint. See paint notes.
- 8) Concrete scoring table dimensions: 2' w x 4' l x 30" h. One (1) ea.







### ***Facility Damage – Covered Multisport Court Bleachers***

- 1) Repair concrete bleacher sections:
  - a. Spalling concrete repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.
- 2) Paint existing bleachers. See paint notes.
- 3) Dimensions: 130" w x 60' l x 80" h. One (1) ea.
- 4) Supply and install new 2" diameter steel handrails on the laterals and rear of the bleachers. Include footings. Meet the standard height. See details. Approximately 82 LF.





### ***Facility Damage – Large Outdoor Basketball Court***

- 1) Remove existing basketball court markings. See Multisport Court Technical Specifications.
  - a. Apply a paint stripper.
  - b. Scrape away the paint.
  - c. Rinse the concrete with a pressure washer.
- 2) Supply and install new acrylic basketball goal boards. (2 ea.)
- 3) Paint basketball court markings and goal poles. See Basketball Court Technical Specifications.
- 4) See paint in general specifications.
- 5) Color to be selected by owner.
- 6) See paint notes.
- 7) Dimensions: 60' w x 121' l.







### ***Facility Damage – Large Outdoor Basketball Court Concrete Table and Benches***

- 1) Demolish and dispose of existing damaged concrete benches remains. Two (2) ea. Approximately three (3) CY.
- 2) Supply and install new precast concrete park benches. 72" L x 20" W x 18" H. Two (2) ea.
- 3) Precast concrete park benches made of Portland Cement (ASTM C150, all aggregates meet ASTM C33) reinforced with 3/8" diameter steel rebar.
- 4) Spalling concrete repair - Chip existing loose concrete and treat the exposed rebar on existing concrete scoring table and scoring bench. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 5) Apply bonding primer and reinforcement corrosion protection.
- 6) Patch and finish the affected area with Vinyl Concrete Patch.
- 7) Paint with exterior wall paint. See paint notes.
- 8) Concrete scoring bench dimensions: 18" w x 43" l x 21" h.
- 9) Concrete scoring table dimensions: 18" w x 43" l x 36" h.

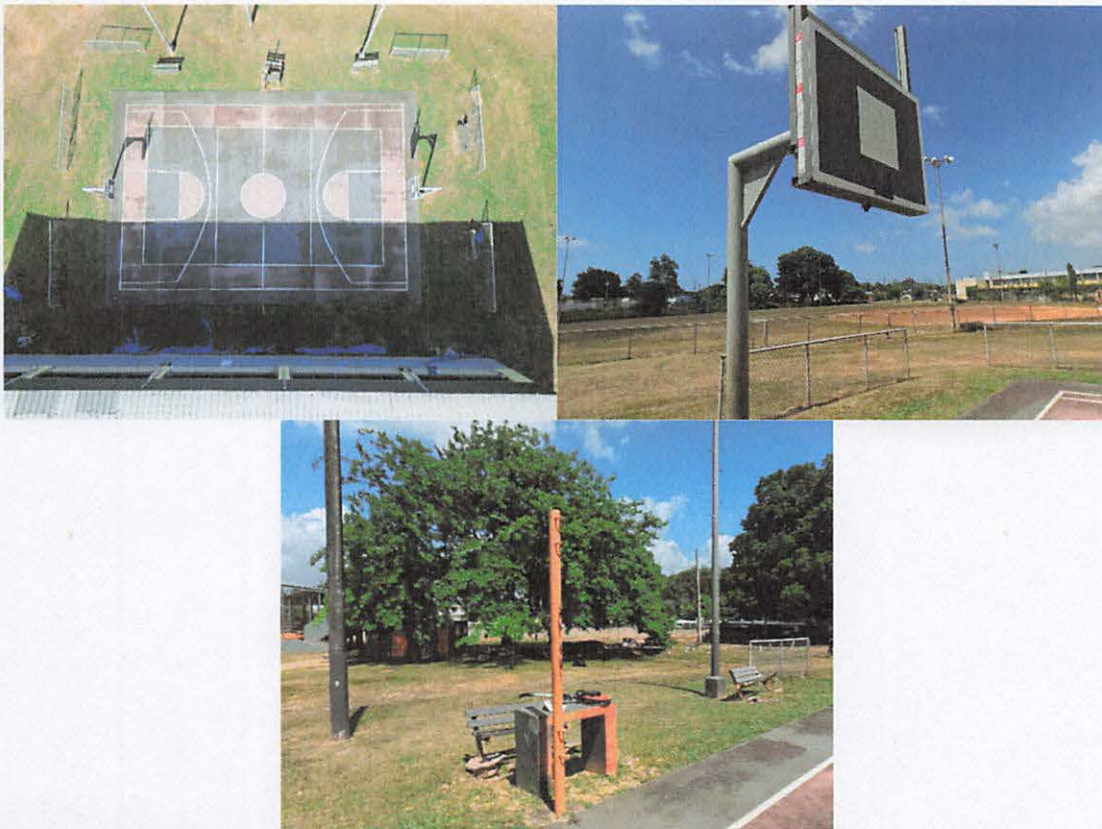






### ***Facility Damage – Small Outdoor Basketball Court***

- 1) Remove existing basketball court markings. See Multisport Court Technical Specifications.
  - a. Apply a paint stripper.
  - b. Scrape away the paint.
  - c. Rinse the concrete with a pressure washer.
- 2) Supply and install new acrylic basketball goal boards. (2 ea.)
- 3) Paint basketball court markings and goal poles. See Basketball Court Technical Specifications.
- 4) See paint in general specifications.
- 5) Color to be selected by owner.
- 6) See paint notes.
- 7) Dimensions: 46' w x 66' l.







***Facility Damage – Small Outdoor Basketball Court Concrete Table and Benches***

- 1) Demolish and dispose of existing damaged wooden benches remains. Five (5) ea. Approximately three (3) CY.
- 2) Supply and install new precast concrete park benches to install three (3) at the eastern side and three (3) on the west. 72" L x 20" W x 18" H. Total of six (6) ea.
- 3) Precast concrete park benches made of Portland Cement (ASTM C150, all aggregates meet ASTM C33) reinforced with 3/8" diameter steel rebar.
- 4) Spalling concrete repair - Chip existing loose concrete and treat the exposed rebar on existing concrete scoring table. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 5) Apply bonding primer and reinforcement corrosion protection.
- 6) Patch and finish the affected area with Vinyl Concrete Patch.
- 7) Paint with exterior wall paint. See paint notes.
- 8) Concrete scoring table dimensions: 16" w x 39" l x 31" h.







### ***Facility Damage – Community Center***

- 1) Spalling concrete repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
- 2) Apply bonding primer and reinforcement corrosion protection.
- 3) Patch and finish the affected area with Vinyl Concrete Patch.
- 4) Dimensions: 65' w x 89' l.
- 5) Remove existing roofing steel structure covering system. Remove all debris.
- 6) Pressure wash cleaning of existing concrete roof. Approximately 5,655 SF.
- 7) Installation of new waterproofing system. Equal or similar to Danosa Modified Bitumen Membrane. The contractor shall provide a 10 YR warranty. Installation of product must be as recommended by the manufacturer. Approximately 6,375 SF.







### ***Facility Damage – Community Center - Building***

1) Remove and dispose existing doors, windows, acoustic ceiling system. Wall tiles, lighting fixtures, A/C Units etc. (20 CY).

2) Supply, and repair by replacement existing damaged acoustical ceiling system, equal or similar to Armstrong Random Fissured by Armstrong Ceilings. Square Lay-In 15/16, 24 x 24 x 5/8, Perforated. Item #: 2908. Sag/Humidity Resistant. Fire Rating: Class A. Use 15/16" suspension system equal or similar to PRELUDE XL 15/16" Exposed Tee System by Armstrong Ceilings for exterior applications. Repairs in offices, restrooms, storage, and transmission station. Approximately 5,835 SF.

3) Install new interior hollow metal door gage 16. 36" x 80". (10 ea.), exterior - 36" x 80". (3 ea.).

4) Install new interior hollow metal door gage 16. 72" x 80". (1 ea.), exterior - 72" x 80" (2 ea.).

5) Clean, polish and crystalize existing "terrazzo" floor tile. (5,835 SF).







### ***Facility Damage – Community Center Restrooms***

- 1) Remove and dispose of all restroom equipment: Six (6) toilets, Five (5) lavatories, two (2) urinals, toilet partitions, and accessories.
- 2) Repair existing concrete wall plaster finish with the application of new wall finish product as manufactured by Master (equal or similar), used to renovate walls and ceilings.
- 3) Supply and install new ADA complaint restroom equipment and accessories. Include all fittings, valve, p-trap, tail piece, etc.
- 4) Clean and paint existing flooring with anti-slip coating. Refer to the Paint scope section for details.
- 5) If existing, repair toilet partitions by anchoring all existing pilasters with four (4) aluminum angle brackets, cover all pilaster bases with new stainless steel pilaster shoes, install premium stainless steel door latch, and paint all partition compartments. Partition compartments surfaces to be sanded, clean with denature alcohol, and painted with one coat of primer and two (2) coats of paint.
- 6) Remove, dispose, and replace toilet fixture. Include toilet seats, fittings, and valve. Ensure the fixture fits in the existing sanitary connection.
- 7) Material Description:(where occur or required):
  - a. Lavatory: Wall-mounted. Vitreous China, white, 20-½ in x 18-¼ in with 4 in center faucet holes, front overflow, D-shaped bowl. Five (5) lavatories are needed.
  - b. Faucets: Conventional widespread, 0.5 GPM pressure compensating, vandal-resistant multi-laminar spray. Factory set for a maximum of 0.08 gallons per cycle. Five (5) faucets are needed.
  - c. Toilet Paper Dispenser: Surface-mounted, multi-roll, stainless steel, satin finish, 6-1/16" W x 11" H x 5-15/16" D. Holds two rolls up to 5-¼" in diameter. Theft-resistant, heavy-duty spindles. Six (6) toilet paper dispensers are needed.
  - d. Floor: Refer to paint scope section for details.
  - e. Toilet partitions, if exist: Water-based epoxy coating. Color to be selected by owner.
  - f. Toilets: Single flush. Flush volume is 1.1 GPF to 1.6 GPF. Outfitted with a 2-1/8 in. fully glazed trap way, elongated toilet seat, Water Sense, Dimensions 16.5 in. H, 14 in. W, 28.25 in. D. Five (5) toilets are needed.
  - g. Urinals: Low consumption, 1.0 gallon per flush (1.0 gpf/3.8 Lpf). Siphon jet flush action. Extended sides for privacy, vitreous china. Two (2) urinals are needed.
  - h. Grab bars: 24" stainless steel satin finish, ADA compliant grab bar. Concealed mounting grab bar with snap flange. Four (4) grab bars needed.





8) Product Reference: (where occur or required):

- a. Lavatory: Equal or similar to American Standard, Lucerne Wall Hung Lavatory Model 0355.012.
- b. Faucets: Equal or similar to American Standard Metering Faucet Model 1340.827.
- c. Toilet Paper Dispenser: Equal or similar to Bobrick Model B-2888 Classic Series.
- d. Floor: Refer to paint scope section for details.
- e. Toilet Partitions: Equal or similar to Sherwin Williams Pro-Industrial Pre-Catalyzed water-based epoxy.
- f. Toilets: Similar or equal to American Standard model 2854.128 or Madera Chair Height Ever Clean Toilet System with Manual Piston Flush Valve, 1.28gpf/4.8 Lpf.
- g. Urinals: Similar or equal to American Standard model 6561.017, Trimbrook
- h. Grab bar: Similar or equal to Bobrick B-5806x24.









### ***Paint General Specifications***

- 1) Paint all existing structures. (Bleachers, benches, steel structures, concrete structures, buildings, restrooms, canteen, basketball court, etc., where occur).
- 2) Clean and patch all existing concrete surfaces. See paint notes.
- 3) Flooring: Apply anti-slip floor coating designed for heavy pedestrian traffic.
- 4) Product Description:
  - a. Steel Structures: Equal or similar to Sherwin Williams Pro Industrial DTM Acrylic Primer/Finish. Apply one coat of primer and two (2) coats of paint.
  - b. Exterior Wall Paint: Equal or similar to Sherwin-Williams Quick Dry Interior/Exterior Stain Blocking Primer. Apply one coat of primer. Apply two (2) coats of paint. A-100 exterior acrylic latex.
  - c. Interior Wall Paint: Equal or similar to Sherwin-Williams Moisture Vapor Barrier Interior Latex primer/sealer. Apply one coat of primer and two (2) coats of paint. Promar 400 Zero VOC Interior Latex Primer.
  - d. All exterior concrete structure or item must be painted with exterior paint.
  - e. See paint notes.
- 5) Patch and finish the affected area with Vinyl Concrete Patch.











### **SOW ELECTRICAL WORK**

#### ***Facility Damage - Field***

- 1) Install new meter base with concrete pedestal.
- 2) Supply and replace existing 120v/240V, 200 Amp, 1ph Nema 3R. Disconnect switch.
- 3) Install New Distribution Panel.
- 4) New 3#4 RHHN underground electrical line. (1200LF Approx.)



### ***Facility Damage - Baseball Field***

- 1) Remove, supply and repair by replacement of existing damaged baseball field poles to install outside the chain link fence perimeter. Eight (8) ea.
- 2) Remove, supply and repair by replacement of new weatherproof baseball field lighting fixture sets. Equal or similar to model TLC-LED-1200 by MUSCO. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. The contractor must provide photometric design. [Four (4) luminaires per pole]. Total of 32 ea.
  - a. LED Weatherproof Luminaire
  - b. Color Temp of 5700k
  - c. Fixture Voltage: 277 to 480V
  - d. Watts: 575 to 1,200W
  - e. Lumens: 52,000 to 150,000 lm
  - f. Fixture Rated Life: Ten (10) year warranty.
- 3) Install new pole wiring system 3#4 THHN. (400 LF).







### ***Facility Damage – Athletic Poles***

- 1) Supply and install new athletic pole luminaires for the three (3) athletic poles in the two (2) basketball courts. Two (2) luminaires per pole for a total of six (6) luminaires. Equal or similar to model HL-SP06-500W by LED Sports Light. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: AC100 to 277V
  - d. Lumens: 75,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.





### ***Facility Damage – Concrete Poles***

- 1) Remove and dispose of existing damaged concrete poles in the southeast close to the private houses next to the property. Two (2) ea. Approximately two (2) CY.
- 2) Remove, supply and repair by replacement of existing damaged concrete poles in the property. Seven (7) ea.
- 3) Remove, supply and repair by replacement of exterior lighting fixtures for concrete poles in the property. Seven (7) ea. Equal or similar to model ValueLED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.







***Facility Damage – Concrete Bleacher Canopy***

- 1) Supply and install new florescent lighting fixture with new LED lighting fixtures. Equal or similar to model CNY LED Canopy Lighting by Lithonia Lighting. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. Three (3) ea.
  - a. LED Interior/Exterior Luminaire.
  - b. Color Temp of 4000k.
  - c. Fixture Voltage: 120 to 277V
  - d. LED replacement for: Up to 250W MH
  - e. Lumens: 6,600 lm
  - f. Fixture Rated Life: 50,000 hr. Five (5) year warranty.





### ***Facility Damage – Community Center***

- 1) Remove, supply and repair by replacement of exterior lighting fixtures in the exterior walls of the community center. Three (3) ea. Equal or similar to model ValueLED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.
- 2) Remove, supply and repair by replacement of exterior lighting fixtures in the community center's main and lateral entrances. Four (4) ea. Equal or similar to model ValueLED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.
- 3) Removal and disposal of existing damaged indoor/outdoor wall lighting fixtures and supply and install new interior/exterior lighting fixture packs in the community center's main and lateral entrances. Equal or similar to model ARC2 LED Architectural Wall Luminaire by Lithonia Lighting. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. Five (5) ea.
  - a. LED Interior/Exterior Luminaire.
  - b. Color Temp of 4000k.
  - c. Fixture Voltage: 120 to 347V
  - d. Lumens: 6,615 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.







***Facility Damage – Community Center Restrooms and All Rooms***

- 1) Remove and dispose of existing damaged indoor luminaires in venue, rooms, office restroom, storage, etc, and replace them with commercial grade recessed troffer lightings. Equal or similar to model 2GTL LED by Lithonia Lighting. Dimensions: 2' w x 4' l. (73 ea.)
  - a. LED interior luminaire.
  - b. Color Temp of 4000k.
  - c. Fixture Voltage: AC120V
  - d. Lumens: 4,000 lm
  - e. Fixture Rated Life: 72,000 hr. Five (5) year warranty.







## **Brasilia Facility Damages Repair**

### ***Facility Damage – Electricity Meter Concrete Base and Adjacent Sidewalk Repair***

1. Spalling Concrete repair. Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer. Apply bonding primer and reinforcement corrosion protection. Patch and finish the affected area with Vinyl Concrete Patch. See Specifications.
2. Demolition and disposal of existing concrete sidewalk section around meter. Approximately one (1) CY.
3. New 3 FT wide sidewalk, approximately 66 SF, to match existing. Cut control joints every 5 FT.

### ***Facility Damage – Concrete Sidewalk***

4. Demolition and disposal of existing concrete sidewalk section. Approximately four (4) CY.
5. New 4 FT wide sidewalk, approximately 328 SF, to match existing. Cut control joints every 5 FT.
6. Pressure wash cleaning of existing sidewalks. Approximately 200 SF.
7. Thin set concrete resurfacing of existing sidewalks. Equal or similar to NewCrete concrete Resurfacer by Rapid Set. Approximately 200 SF.

### ***Facility Damage – Chain Link Fence and Gate***



8. Remove and dispose of existing damaged chain link fence.
9. Supply and install new 6' height chain link fence sections.
10. Galvanized steel chain link #9 gauge 2" mesh.
11. 2" diameter galvanized pipes.
12. Quantity 382 LF approximately.
13. Supply and install new double swing gate with front wheel - 14 LF. (1 ea.)
14. Supply and install new single swing gates - Four (4) LF. (2 ea.)
15. Refer to standard drawings for chain link fence and gates details.

#### ***Facility Damage – Concrete Bench***

16. Repair concrete bench: (1 ea.)
  - a. Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.

#### ***Facility Damage – Vegetative and Non-Vegetative Debris***

17. 30% pruning three (3 ea.) existing trees.
18. Remove approximately 40 CY of vegetative and non-vegetative debris.

#### ***Facility Damage – Roof Structure***

19. Repair of metal roof panels. Approximately 30 SF.
20. Remove, supply and repair by replacement of gutters. Approximately 380 LF.





21. Remove, supply and repair by replacement of downspouts. Approximately 80 LF.
22. Remove, supply and repair by replacement of existing Type Z-10, purlins. Approximately 324 LF.
23. Supply and install new galvanized expanded metal equal or similar to SOSCo Metals  $\frac{3}{4}$  #9. Approximately 1,823 SF.

#### ***Facility Damage – Basketball Court***

24. Remove existing basketball court markings. See Multisport Court Technical Specifications.
  - a. Apply a paint stripper.
  - b. Scrape away the paint.
  - c. Rinse the concrete with a pressure washer.
25. Paint multisport court markings, poles, existing volleyball net posts, and goals. See Multisport Court Technical Specifications.
26. See paint specifications.
27. Color to be selected by owner.
28. See paint notes.

#### ***Facility Damage – Bleachers***

29. Repair concrete bleacher sections:
  - a. Spalling concrete repair- chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer. Apply bonding primer and reinforcement





corrosion protection. Clean, patch and finish the affected area with Vinyl Concrete Patch.

30. Paint existing bleachers. See paint notes.

31. Supply and install new 2" diameter steel handrails on the laterals and rear of bleachers. Include footings. Meet the standard height. See details.

### ***Facility Damage – Restroom Renovations***

32. Remove and dispose of all restroom equipment: toilets, lavatories, toilet partitions, and accessories.

33. Repair existing restrooms:

- Repair existing concrete wall plaster finish with the application of new wall finish product as manufactured by Master (equal or similar), used to renovate walls and ceilings.
- Supply and install new ADA complaint restroom equipment and accessories. Include all fittings, valve, p-trap, tail piece, etc.
- Clean and paint existing flooring with anti-slip coating. Refer to the Paint scope section for details.
- Repair toilet partitions by anchoring all existing pilasters with four (4) aluminum angle brackets, cover all pilaster bases with new stainless steel pilaster shoes, install premium stainless steel door latch, replace partition door panel and paint all partition compartments. Partition compartments surfaces to be sanded, clean with denature alcohol, and painted with one coat of primer and two (2) coats of paint.
- Remove, dispose, and replace toilet fixture. Include toilet seats, fittings, and valve. Ensure the fixture fits in the existing sanitary connection.
- Material Description:(where occur or required):
- Lavatory: Wall-mounted. Vitreous China, white, 20-½ in x 18-¼ in with 4 in center faucet holes, front overflow, D-shaped bowl. Four (4) lavatories are needed.
- Faucets: Conventional widespread, 0.5 GPM pressure compensating, vandal-resistant multi-laminar spray. Factory set for a maximum of 0.08 gallons per cycle. Four (4) faucets are needed.





- Toilet Paper Dispenser: Surface-mounted, multi-roll, stainless steel, satin finish, 6-1/16" W x 11" H x 5-15/16" D. Holds two rolls up to 5-1/4" in diameter. Theft-resistant, heavy-duty spindles. Four (4) toilet paper dispensers are needed.
- Floor: Refer to paint scope section for details.
- Paint Toilet partitions, with Water-based epoxy coating. Color to be selected by owner.
- Toilets: Single flush. Flush volume is 1.1 GPF to 1.6 GPF. Outfitted with a 2-1/8 in. fully glazed trap way, elongated toilet seat, Water Sense, Dimensions 16.5 in. H, 14 in. W, 28.25 in. D. Three (3) toilets are needed.
- Urinals: Low consumption, 1.0 gallon per flush (1.0 gpf/3.8 Lpf). Siphon jet flush action. Extended sides for privacy, vitreous china. One (1) urinal is needed.
- Grab bars: 24" stainless steel satin finish, ADA compliant grab bar. Concealed mounting grab bar with snap flange. Four (4) grab bars needed.
- Product Reference: (where occur or required):
- Lavatory: Equal or similar to American Standard, Lucerne Wall Hung Lavatory Model 0355.012.
- Faucets: Equal or similar to American Standard Metering Faucet Model 1340.827.
- Toilet Paper Dispenser: Equal or similar to Bobrick Model B-2888 Classic Series.
- Floor: Refer to paint scope section for details.
- Toilet Partitions: Equal or similar to Sherwin Williams Pro-Industrial Pre-Catalyzed water-based epoxy.
- Toilets: equal or similar to American Standard model 2854.128 or Madera Chair Height Ever Clean Toilet System with Manual Piston Flush Valve, 1.28gpf/4.8 Lpf.
- Urinals: Similar or equal to American Standard model 6561.017, Trimbrook
- Grab bar: Similar or equal to Bobrick B-5806x24.

### ***Facility Damage – Concrete Canteen***

34. Spalling Concrete Repair - Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer. Apply bonding primer and reinforcement corrosion protection. Patch and finish the affected area with Vinyl Concrete Patch.





### ***Facility Damage – Paint***

35. Paint all existing structures. (Bleachers, benches, steel structures, concrete structures, buildings, restrooms, canteen, basketball court, etc., where occur).

- Clean and patch all existing concrete surfaces. See paint notes.
- Flooring: Apply anti-slip floor coating designed for heavy pedestrian traffic.
- Restrooms walls: Clean and patch existing surface. Apply one (1) coat of primer and two (2) coats of water-based epoxy paint.

Product Description:

- a. Floors: Similar or equal to American Safety Technologies AS-150 HAPS Free Anti-Slip Coating.
  - b. Toilet Partitions: Equal or similar to Sherwin Williams Pro Industrial Pre-catalyzed water-based epoxy.
  - c. Steel Structures: Equal or similar to Sherwin Williams Pro Industrial DTM Acrylic Primer/Finish. Apply one coat of primer and two (2) coats of paint.
  - d. Exterior Wall Paint: Equal or similar to Sherwin-Williams Quick Dry Interior/Exterior Stain Blocking Primer. Apply one coat of primer. Apply two (2) coats of paint. A-100 exterior acrylic latex.
  - e. Interior Wall Paint: Equal or similar to Sherwin-Williams Moisture Vapor Barrier Interior Latex primer/sealer. Apply one coat of primer and two (2) coats of paint. Promar 400 Zero VOC Interior Latex Primer.
  - f. All exterior concrete structure or item must be painted with exterior paint.
  - g. See paint notes.
- Patch and finish the affected area with Vinyl Concrete Patch.

### **SOW ELECTRICAL WORK**

#### ***Site***

#### ***Facility Damage – Concrete Poles***

36. Remove existing concrete poles. Seven (7) ea. Approximately Five (5) CY.

37. Install new 25 FT - H6 concrete self-support pole. Three (3) ea.)

38. Paint new concrete poles up to 10' height. Three (3) ea.





- 39. Supply and install new aerial aluminum #2 RHHN electric cable. Approximately 160 LF.
- 40. Install new underground poles feeder. See details and specifications.
- 41. Repair electricity meter base.
- 42. See plan sheet E-2.

#### ***Facility Damage – Roof Structure***

- 43. Supply and install new interior luminaires. Ten (10 ea.) Equal or similar to model ValueLED UFO 2A High Bay by Sylvania luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer.
  - a. LED interior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 34,560 lm
  - e. Fixture Rated Life: 150,000 hr. Five (5) year warranty.
- 44. Supply and install new exterior lighting fixtures. Ten (10) ea. Equal or similar to model ValueLED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer. Include electrical rough-in. Use ¾" min. EMT conduit with 3#12 wire, 4" x 4" junction boxes with cover and new quiet on/off switch with raise cover and switch stainless steel cover.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.





45. Remove, dispose, supply, install and replace all existing EXIT signs light. Use outdoor wet location LED emergency lighting fixture. – Battery. – Surface mount. Two (2) ea.

***Facility Damage – Restroom***

46. Remove, dispose, supply, install and replace all existing interior room florescent lighting fixture by new LED Lighting Fixture equal or similar to FML4W Wraparound by Lithonia Lighting, two (2) ea. Include switches and covers. Two (2) ea.

***Facility Damage – Storage Room***

47. Remove, dispose, supply, install and replace all existing interior room florescent lighting fixture by new LED Lighting Fixture equal or similar to FML4W Wraparound by Lithonia Lighting, one (1) ea. Include switch and cover.

***Facility Damage – Concrete Canteen***

48. Remove, dispose, supply, install and replace all existing interior room florescent lighting fixture by new LED Lighting Fixture equal or similar to FML4W Wraparound by Lithonia Lighting, one (1) ea. Include receptacles, switches, and covers.

**Buy American Act Requirements:**

Buy American requirements apply to purchases of iron, steel, and other manufactured products permanently incorporated into infrastructure projects. To be considered as being produced in the U.S., goods must be manufactured in the U.S. and at least 50% of the cost of their components must come from the U.S.

**Additional Notes:**





1. The contractor is responsible to verify the existing electrical system conditions and shall repair any damage found and leave the project fully operational, properly grounded, coordinated with all the other trades and with all the required equipment, interconnections, fittings, and appurtenances necessary for the safe operation of his intended use.
2. All the electrical installation shall be done in a neat and workmanlike manner, according to the latest edition of the National Electrical Code (N.E.C.), the Puerto Rico Electric Power Authority (LUMA) latest standards and the Negociado de Telecomunicaciones de Puerto Rico latest practices.
3. The contractor shall visit the job site and become acquainted with the existing field conditions.
4. The contractor shall submit, with the proposal, the proposed Synthetic Acrylic System specifications with the warranty terms and conditions. The system must be equal or similar to the specified and shall comply with a minimum of minimum five (5) year warranty, excluding damages by improper use and wear due to normal use.
5. The contractor is responsible for complying with all laws, regulations, codes, and professional licenses required by Municipal, State, Federal and Local laws.
6. To all existing concrete surfaces (where occur) - All spalling concrete must be repaired. Chip the existing loose concrete and treat the exposed rebar. Clean with a steel brush and apply (equal or similar) Loctite Extend Rust Neutralizer, apply (equal or similar) Sika Armatec – 110 EpoCem and then patch and finish the affected area with Vinyl Concrete Patch. For all products, follow the manufacturer mixing and application recommendations.
7. All basketball court marking paint must be Multisport Court (Basketball and Volleyball) as specified. Where volleyball pole system is missing, the contractor must include the new volleyball net pole system as per specifications.





## **Villa Real, Vega Baja Facility Damages Repair**

### ***Basketball Court Facility Damage - Concrete Sidewalks***

- 1) Demolition and disposal of existing concrete sidewalk sections around the Basketball court. Approximately 20 CY.
- 2) New 5 FT wide sidewalks x 212 LF, approximately 1,060 SF, to match existing. Cut control joints every 5 FT.

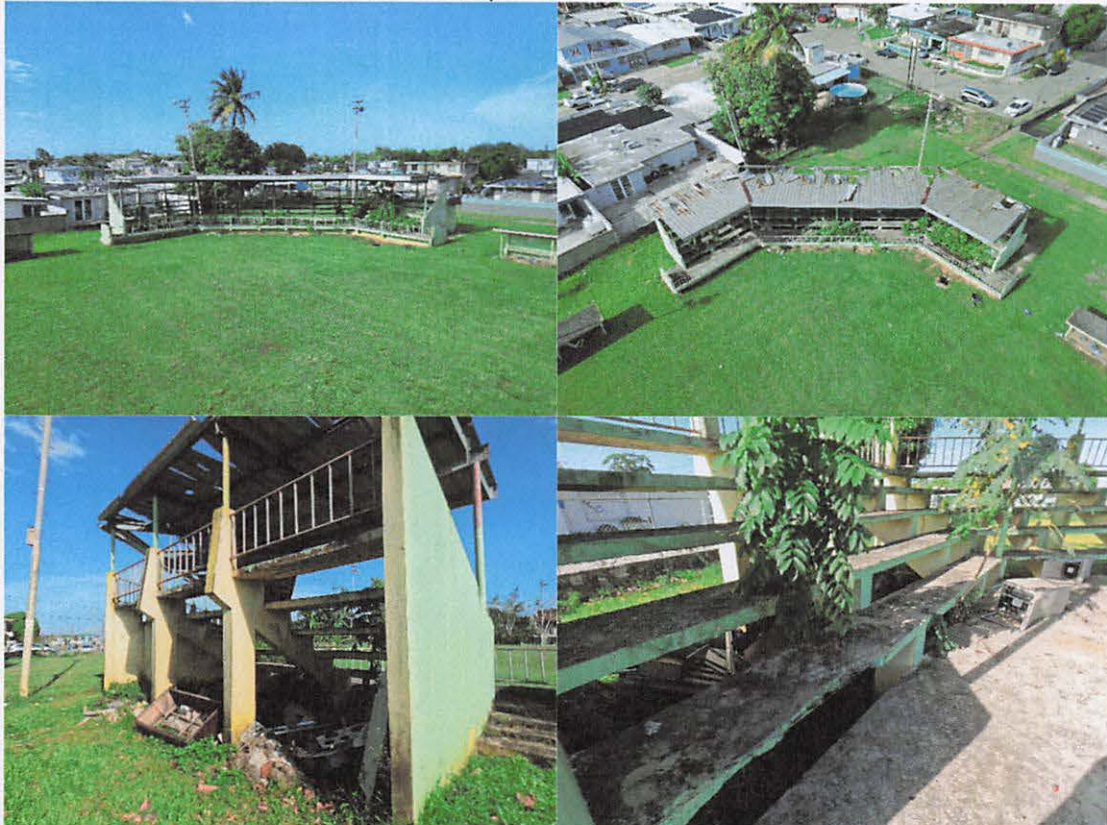






### ***Baseball Field Facility Damage – Bleachers***

- 1) Demolition and disposal of existing damaged concrete bleachers, canteen, and restrooms structure in the baseball field. Approximately 150 CY in total.
- 2) Build new concrete bleachers:
  - a. 10' wide x 80' long x 80" high.
  - b. Construct new metal roof canopy structure for the bleachers. Dimensions: 17'-6" w x 84' l. Approximately 1470 SF. See typical details.
  - c. Supply and install new 2" diameter steel handrails on the laterals and rear bleachers. Include footings. Meet the standard height. See details. 140 LF per bleacher.
- 3) New 5 FT wide sidewalks x 150 LF, approximately 750 SF, to match existing. Cut control joints every 5 FT.
- 4) Paint new concrete bleachers. See paint notes.











### ***Facility Damage – Dugouts***

- 1) Demolition of existing dugouts 7' w x 20' l. Two (2) ea.
- 2) Construction of two new dugouts 7' w x 20' l. Two (2) ea.
- 3) Remove and dispose of existing damaged 5' high chain link covering the front of the dugouts. 17 LF. Two (2) ea.
- 4) Supply and install new 10' H x 20' L front chain link fence. Two (2) ea. See typical details.



### ***Facility Damage – Baseball Field***

#### ***Restrooms Structure***

- 1) Construction of new restrooms structure. 7' w x 20' l. See details.
- 2) Supply and install new ADA complaint restroom equipment and accessories. Include all fittings, valve, p-trap, tail piece, etc.
- 3) Supply and install toilet fixture. Include toilet seats, fittings, and valve. Ensure the fixture fits in the existing sanitary connection.
- 4) Include plumbing piping work and connect to existing line.
- 5) Material Description:(where occur or required):
  - a. Lavatory: Wall-mounted. Vitreous China, white, 20-1/2 in x 18-1/4 in with 4 in center faucet holes, front overflow, D-shaped bowl. Two (2) lavatories are needed.





- b. Faucets: Conventional widespread, 0.5 GPM pressure compensating, vandal-resistant multi-laminar spray. Factory set for a maximum of 0.08 gallons per cycle. Two (2) faucets are needed.
  - c. Toilet Paper Dispenser: Surface-mounted, multi-roll, stainless steel, satin finish, 6-1/16" W x 11" H x 5-15/16" D. Holds two rolls up to 5-1/4" in diameter. Theft-resistant, heavy-duty spindles. Two (2) toilet paper dispensers are needed.
  - d. Floor: Refer to paint scope section for details.
  - e. Toilets: Single flush. Flush volume is 1.1 GPF to 1.6 GPF. Outfitted with a 2-1/8 in. fully glazed trap way, elongated toilet seat, Water Sense, Dimensions 16.5 in. H, 14 in. W, 28.25 in. D. Two (2) toilets are needed.
  - f. Urinals: Low consumption, 1.0 gallon per flush (1.0 gpf/3.8 Lpf). Siphon jet flush action. Extended sides for privacy, vitreous china. One (1) urinal is needed.
- 6) Product Reference: (where occur or required):
- a. Lavatory: Equal or similar to American Standard, Lucerne Wall Hung Lavatory Model 0355.012.
  - b. Faucets: Equal or similar to American Standard Metering Faucet Model 1340.827.
  - c. Toilet Paper Dispenser: Equal or similar to Bobrick Model B-2888 Classic Series.
  - d. Floor: Refer to paint scope section for details.
  - e. Toilet Partitions: Equal or similar to Sherwin Williams Pro-Industrial Pre-Catalyzed water-based epoxy.
  - f. Toilets: Similar or equal to American Standard model 2854.128 or Madera Chair Height Ever Clean Toilet System with Manual Piston Flush Valve, 1.28gpf/4.8 Lpf.
  - g. Urinals: Similar or equal to American Standard model 6561.017, Trimbrooks

### **Facility Damage – Netting**

- 1. Install new bleacher protection foul netting. Aprox 1280 SF.
- 2. Install bleachers ceiling protection net. Aprox 1470 SF.
- 3. Products:
  - a. Foul netting: Similar or equal to Carronnet – 77711 #420 knotless 1.75" Baseball & Softball Foul Ball & Perimeter Nets.





- b. Ceiling Net: Similar or equal to Carronnet – 77706 #252 knotless 0.75"

***Facility Damage – Baseball Field Back Stopper System***

- 1) Install new 20' High Baseball Back Stopper System equal or similar to model BBS-20 from Aluminum Athletic Equipment. See Specifications.

***Facility Damage – Baseball Field Foul Poles***

- 1) Supply and install new 2 foul poles. Equal or similar to model Grand Slam Fencing Foul Pole Kit, Part # A15-941 by Anthem Sports.
  - a. Two 6' high reinforced PVC foul poles wrapped in 8' high Safeoam.
  - b. Includes two ground sockets and six 19" yellow tie wraps for attachment.
  - c. Compatible with temporary, in-ground fencing (see illustration).
  - d. Image for illustration purposes only.







### **Facility Damage - Baseball Field - Field Work**

- 1) The contractor is responsible for the repair of the existing damaged infield.
  - a. Remove all grown sod inside the infield area and apply an industrial herbicide to prevent future grow.
  - b. Rake the area and remove all debris.
  - c. To repair the infield surface, use a mix equal to 55 percent sand, 30 percent clay, and 15 percent silt covering material.
  - d. Prepare the lawn area as recommended by the guide provided.
  - e. Follow the guide provided. (Where apply)
  - f. Install baseball bases set.

### **Facility Damage - Chain Link Fences**

- 1) Remove and dispose of existing damaged 5' high chain link fence:
  - a. From the northwest corner of the property along the fence line to the southwest corner of the property: Approximately 400 LF.
  - b. From the northeast corner of the property going south along the baseball field to the southeast corner of the property: Approximately 465 LF.
  - c. The southern fence: 195 LF.
  - d. Between the baseball field and the court: 235 LF.
  - e. Approximate total of 1,295 LF.
- 2) Supply and install new 5' high chain link fence sections:
  - a. From the northwest corner of the property along the fence line to the southwest corner of the property: Approximately 400 LF.
  - b. From the northeast corner of the property going south along the baseball field to the southeast corner of the property: Approximately 465 LF.
  - c. The southern fence: 195 LF.
  - d. Between the baseball field and the court: 235 LF.
  - e. Approximate total of 1,295 LF.





- 3) Supply and install a new 5' high double swing gate in the northeastern gate fence. 12 LF.
- 4) Supply and install a new 5' high single swing gate in the entrance to the sidewalk coming from the court to the eastern fence. Five (5) LF.
- 5) Supply and install a new 5' high single swing gate in the entrance to the sidewalk coming from the court to the southern fence. Five (5) LF.
- 6) Supply and install a new 5' high single swing gate in the entrance to the sidewalk coming from the court to the western fence. Five (5) LF
- 7) Supply and install a new 5' high double swing gate in the eastern gate fence where the field divides from the court, on the court's side of the fence. 16 LF.
- 8) 2" diameter galvanized pipes.
- 9) Refer to standard drawings for chain link fence and gates details.
- 10) Supply and install a new fence topper along the western, southern, and eastern fences. Equal or similar to model 01160 Poly-Cap by Baseball Fence Toppers. Approximately 670 LF.











***Facility Damage - Vegetative and Non-Vegetative Debris***

- 1) Remove approximately three (3) CY of vegetative debris.
- 2) Remove approximately five (5) CY of non-vegetative debris.
- 3) Remove tree stumps in the property. Three (3) ea.
- 4) Remove the trees along the chain link fence sections. Eight (8) ea.

















### ***Facility Damage - Basketball Court Roof Structure***

- 1) Remove, supply and repair by replacement of edge trims. 30 LF.
- 2) Cleaning of gutters. 200 LF.
- 3) Supply and install roof net. 6,000 SF.
- 4) Repair existing basketball court column concrete bases. See details. Ten (10) ea.
- 5) Paint main basketball steel structures.
- 6) See paint notes.











### ***Facility Damage - Basketball Court***

- 1) Remove existing basketball court markings. See Multisport Court Technical Specifications.
  - a. Apply a paint stripper.
  - b. Scrape away the paint.
  - c. Rinse the concrete with a pressure washer.
- 2) Supply and install new acrylic basketball goal boards. (2 ea.)
- 3) Supply and install new Volleyball Ground Sleeves Kits, equal to or similar to Jaypro PVB-75S. (2ea.)
- 4) Paint multisport court markings, volleyball net poles, and goal poles. See Multisport Court Technical Specifications.
- 5) See paint in general specifications.
- 6) Color to be selected by owner.
- 7) See paint notes.
- 8) Dimensions: 60' w x 100' l.







### ***Facility Damage – Concrete Benches***

- 1) Repair concrete benches: Four (4) ea.
  - a. Chip existing loose concrete and treat the exposed rebar. Clean exposed rebar with a steel brush and apply Loctite Extend Rust Neutralizer.
  - b. Apply bonding primer and reinforcement corrosion protection.
  - c. Clean, patch and finish the affected area with Vinyl Concrete Patch.
- 2) Paint existing bleachers. See paint notes.







### ***Facility Damage – Playground & Outdoor Gym***

- 1) Paint existing playground equipment. Five (5) ea.
- 2) Repair existing fallen outdoor gym machine.
- 3) Remove and dispose of existing damaged slide. (See references.)
- 4) Supply and install new 10' freestanding metal slide:
  - a. Stainless steel bed way, 18 gauge, secured to a 4" deep "D" shaped side rails.
  - b. Safety platform of 22" x 22" square, 14-gauge galvanized steel.
  - c. Handrails of 1.315" O.D. galvanized steel.
  - d. Meets ASTM and CPC guidelines.
- 5) Equal or similar to Playset Parts product.







### ***Paint General Specifications***

- 1) Paint all existing structures. (Galvanized steel tube fence, bleachers, benches, steel structures, concrete structures, buildings, restrooms, canteen, basketball court, etc., where occur).
- 2) Clean and patch all existing concrete surfaces. See paint notes.
- 3) Flooring: Apply anti-slip floor coating designed for heavy pedestrian traffic.
- 4) Product Description:
  - a. Floors: Similar or equal to American Safety Technologies AS-150 HAPS Free Anti-Slip Coating.
  - b. Steel Structures: Equal or similar to Sherwin Williams Pro Industrial DTM Acrylic Primer/Finish. Apply one coat of primer and two (2) coats of paint.
  - c. Exterior Wall Paint: Equal or similar to Sherwin-Williams Quick Dry Interior/Exterior Stain Blocking Primer. Apply one coat of primer. Apply two (2) coats of paint. A-100 exterior acrylic latex.
  - d. Interior Wall Paint: Equal or similar to Sherwin-Williams Moisture Vapor Barrier Interior Latex primer/sealer. Apply one coat of primer and two (2) coats of paint. Promar 400 Zero VOC Interior Latex Primer.
  - e. All exterior concrete structure or item must be painted with exterior paint.
  - f. See paint notes.
- 5) Patch and finish the affected area with Vinyl Concrete Patch.











## **SOW ELECTRICAL WORK**

### ***Facility Damage – Baseball Field - Electricity Meters***

#### ***Field***

- 1) Install new meter base with concrete pedestal.
- 2) Supply and replace existing 120v/240V, 200 Amp, 1ph Nema 3R. Disconnect switch.
- 3) Install New Distribution Panel.
- 4) New 3#4 THHN underground electrical line. (1400 LF Approx.)

### ***Facility Damage - Baseball Field Poles***

- 1) Remove, supply and repair by replacement of existing damaged baseball field poles. Eight (8) ea.
- 2) Remove, supply and repair by replacement of new weatherproof baseball field lighting fixture sets. Equal or similar to model TLC-LED-1200 by MUSCO. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. The contractor must provide photometric design. [Four (4) each per pole]. Total of 32 ea.
  - a. LED Weatherproof Luminaire
  - b. Color Temp of 5700k
  - c. Fixture Voltage: 277 to 480V
  - d. Watts: 575 to 1,200W
  - e. Lumens: 52,000 to 150,000 lm
  - f. Fixture Rated Life: Ten (10) year warranty.
- 3) Install new pole wiring system 3#4 THHN. (400 LF).
- 4) Supply and install new pole pads in baseball field poles. Eight (8) ea.





***Facility Damage - Baseball Field Poles - electrical***

- 1) Supply and repair by replacement of existing weatherproof receptacles (equal or similar to Duplex Convenience Receptacle) 120V. Include rough-in and wiring.

***Facility Damage – Roof Structure***

- 1) Supply and install new interior luminaires. Nine (9) ea. Equal or similar to model ValueLED UFO 2A High Bay by Sylvania luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer.
  - a. LED interior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 34,560 lm
  - e. Fixture Rated Life: 150,000 hr. Five (5) year warranty.
- 2) Supply and install new exterior lighting fixtures. Six (6) ea. Equal or similar to model ValueLED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring,





electrical connection, and on/off switch panel. Installation as recommended by the manufacturer.

- a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.
- 3) Remove, supply and repair by replacement of existing weatherproof receptacles, equal or similar to Duplex Convenience Receptacle. Three (3) ea.
- a. 15A / 125V grounding type surface mounted GFI (Ground Fault Interrupter).
  - b. Include weatherproof boxes and covers.







### ***Facility Damage – Concrete Poles***

- 1) Remove supply, and repair by replacement of existing damaged concrete poles. 20' high. Three (3) ea. Install new self-support H6 Concrete poles.
- 2) Remove, supply and repair by replacement of exterior lighting fixtures for metal poles in and around the property. Three (3) ea. Equal or similar to model ValueLED Area Light 3A by SYLVANIA Luminaires. Include rough-in, wiring, electrical connection, and on/off switch panel. Installation as recommended by the manufacturer.
  - a. LED exterior luminaire.
  - b. Color Temp of 5000k.
  - c. Fixture Voltage: 120 to 277V
  - d. Lumens: 20,000 lm
  - e. Fixture Rated Life: 100,000 hr. Five (5) year warranty.



### **Facility Damage – Baseball Field - Concrete Bleachers**

- 1) Supply and install new florescent lighting fixture with new LED lighting fixtures equal or similar to CNY LED Canopy Lighting by Lithonia Lighting. Include rough-in, wiring, electrical connection, and on/off switch panel. Include all switches and covers. Installation as recommended by the manufacturer. Six (6) ea.
  - a. LED Interior/Exterior Luminaire.
  - b. Color Temp of 4000k.
  - c. Fixture Voltage: 120 to 277VS
  - d. LED replacement for: Up to 250W MH
  - e. Lumens: 6,600 lm
  - f. Fixture Rated Life: 50,000 hr. Five (5) year warranty.













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## **El Guarico, Vega Baja Facility Damages Repair**

### ***Sitework***

- 1) Demolition and disposal of existing concrete sidewalk sections. Approximately 680 SM
- 2) Cyclone Fence (4 ft tall) around walking track . Approximately 446 LF.
- 3) Cyclone Fence (6 ft tall) around walking track. Approximately 715 LF.
- 4) Site accessories
- 5) Luminary Post removal and disposition. Approximately 75 LF

### ***Concrete***

- 1) Reinforced concrete – Approximately 32.25 CY

### ***Masonry***

- 1) Plaster. Approximately 25 SF

### ***Metals***

- 1) Metal Deck Type E w/ girders and beams. Approximately 1226 SF

### ***Finishes***

- 1) Paint (1 coat primer, 2 coats paint – concrete). Approximately 16.181 SF

### ***Sports Accessories & Equipment***

- 1) Volleyball set (post cap & net) – 1 EA
- 2) Playground Equipment – Swings, seesaw and slide

### ***Mechanical and Plumbing Systems***

- 1) Roof storm sewer water distribution line.

### ***Electrical***

- 1) Illumination for Court – 4 EA
- 2) Illumination for Baseball field – 13 EA
- 3) Illumination for Site (post w/ lamp) – 3 EA